

DONNER CREST DESIGN GUIDELINES



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I. INTRODUCTION

A. USE:

These Design Guidelines have been adopted by the DONNER CREST Design Review Committee in accordance with the Declaration of Covenants, Conditions and Restrictions [CC&Rs] for DONNER CREST. They are intended for use by Property Owners in DONNER CREST as well as design professionals and building contractors during the planning and building of homes and other improvements on the properties within DONNER CREST. The Guidelines do not apply to any construction or other improvement activities undertaken by or on behalf of the DONNER CREST OWNERS ASSOCIATION or DONNER CREST, LLC.

It is not the intention of these Design Guidelines to create homes that appear too similar or to suggest that they are required to have the same materials, details or colors. It is, however, the overall goal to provide for some continuity in the site planning, building massing, materials and colors of the homes and landscapes that will be designed and constructed in DONNER CREST.

B. NEED:

These Design Guidelines provide both general direction and recommendations regarding various construction activities and improvement projects and impose specific limitations on

particular types of improvements and construction activities in DONNER CREST. The Guidelines are organized around general headings that are followed with a statement, presented in bold type, of the desired outcome of the guideline. When appropriate, it lists specific criteria and limitations that must be observed by the Owners, design professionals, engineers, landscape designers and contractors undertaking improvement projects.

The Guidelines are intended to establish the minimum quality and aesthetic standards for projects built at Donner Crest. Many of the requirements listed in these Design Guidelines are Conditions of Approval for DONNER CREST as required by the Town of Truckee, or are in conformance with the Town's Development Code with respect to improvement projects and construction activity in the DONNER CREST development.

C. TOWN CODES:

Prior to beginning a home's design, all design professionals are required to obtain and become familiar with the Town of Truckee Development Code. This document will provide design professionals with the background necessary to understand the Town's requirements for new construction within Donner Crest.

D. GOVERNING DOCUMENTS:

It is the applicant's responsibility to read and understand the content of these Design Guidelines. They are supported by additional restrictions contained in the CC&Rs [particularly Articles V – Design Review and Approval and VI – Minimum

Construction Standards for Improvement]. It is the responsibility of the applicant to obtain and be familiar with the requirements imposed by the DONNER CREST CC&Rs as well as the requirements of the serving utilities and other governing districts and agencies.

The Guidelines do not address any restrictions other than design and construction related items. Reference the CC&Rs for all items pertaining to issues beyond the scope of this document, such as restrictions relating to the use and enjoyment of Lots and Common Areas of DONNER CREST.

It is the intent of the Guidelines to supplement and further explain or define the restrictions on construction activities and the minimum standards for improvement projects set forth in the DONNER CREST CC&Rs. So long as the requirements stated herein remain consistent with the CC&Rs, it is anticipated that the Guidelines will evolve and be modified to better address specific construction projects and issues. Those modifications can be made at the discretion of the Design Review Committee. In the event of a conflict between the Design Guidelines and the CC&Rs, the provisions of the CC&Rs will prevail.

All potential design issues have not been addressed in this document. Any items not specifically mentioned in this document will be considered on an as-needed basis by the Design Review Committee.

E. LOCAL FIRE RESPONSIBILITY AREA:

All purchasers of property within DONNER CREST are advised that they own property within a Local Fire Responsibility Area. All lots are subject to the fire protection regulations created and

enforced by the Truckee Fire Protection District, including the Fire Suppression Plan for the Donner Crest Development [Exhibit B of the CC&Rs]. Additionally, commencing in 2008, in compliance with the newly adopted 2007 California Building Code (CBC), the State Fire Marshall has commenced publication of a "Wildland Urban Interface (WUI) Products Handbook". The CBC includes regulations that require building products to comply with specific standards, including provisions for ignition resistant construction. Many of these products have also been approved by the Town of Truckee. It is the responsibility of the applicant or the applicant's design professionals to comply with the building products as approved by the Town of Truckee. These regulations contain provisions applicable to the design and construction of homes and accessory structures as well as the development of the site and the maintenance of vegetation surrounding the home. Compliance with these requirements is the responsibility of the individual property owners within DONNER CREST.

F. DESIGN REVIEW OVERVIEW:

PRIOR TO PREPARATION OF FORMAL PLANS FOR ANY PROPOSED CONSTRUCTION OR IMPROVEMENT PROJECT, THE PROPERTY OWNER IS URGED TO CONTACT A MEMBER OF THE DESIGN REVIEW COMMITTEE TO DISCUSS THE SCHEMATIC PLAN PROPOSAL AND OBTAIN INPUT TO ASSIST THE OWNER IN PLAN PREPARATION.

Before initiating any construction or improvement project on any lot in DONNER CREST, including by not limited to the removal of live trees and rough grading, the property owner must submit the proposed project to the DONNER CREST Design Review Committee [DRC] for review and approval.

The Committee's review process includes both a preliminary submittal, prior to engineering of the project, and a final submittal in which complete and final plans and specifications are submitted to the Committee. The DONNER CREST design review process must be initiated before plans are submitted to the Town of Truckee Community Development Department for permitting. Unless a variance is requested by the applicant and granted by the Design Review Committee, all plans submitted must satisfy the minimum requirements set forth in this Guide, all applicable codes and regulations and the Donner Crest CC&Rs.

In compliance with Town of Truckee regulations, the DONNER CREST CC&Rs require plans for all homes and accessory structures to be stamped and signed by an architect or engineer licensed to practice as such in the State of California.

The Design Review Committee may require a pre-construction conference and final inspection with the contractor selected to build the home in accordance with the approved construction plans.

Once approval has been granted to begin construction, no changes may be made to the project's plans or specifications and no subsequent alteration, relocation or addition may be undertaken at the project site until the modification, alteration or addition has been approved by the Design Review Committee.

Should any Owner or contractor fail to adhere to the requirements imposed by these Guidelines or the CC&Rs [including specific conditions of project's approval], the Design Review Committee has the authority under the Declaration of the CC&Rs to order a stop to the work being undertaken until such time all requirements have been met.

The CC&Rs vest the Design Review Committee with the authority to modify or relax particular requirements stipulated in these Guidelines, so long as the Committee, in its sole discretion, concludes that the approved plans will result in construction of a quality improvement that is consistent with the overall plan and scheme of the development in DONNER CREST, giving consideration to best planning practices and the interests of the neighborhood. For so long as the Declarant has the authority to appoint a majority of the members of the Design Review Committee, the decisions of the Committee shall be final. Once the Committee's members are appointed exclusively by the Board of Directors of the DONNER CREST Owners' Association, the decisions of the Committee may be appealed to the Board.

There will be deposits and fees assessed by the Association for certain parts of the Design Review process pursuant to Article V of the CC&Rs. A plan review fee is required to accompany the first submittal for the preliminary plan review. A refundable construction deposit is required to be submitted upon final plan approval, prior to the release of approved plans back to the Applicant and prior to start of work on the lot.

G. DESIGN REVIEW PROCEDURES:

All plans must be submitted to and approved by the DONNER CREST Design Review Committee [DRC] prior to any work being started on a site. A copy of the DRC Improvement Approval Application is included as Appendix C herein. Copies of the Application may be obtained from the Association manager, or from a member of the DRC.

All projects must be constructed in accordance with all portions of these Design Guidelines, the DONNER CREST CC&R's as well as all Town of Truckee codes and regulations.

All improvements proposed on any lot, including site disturbance of any kind, must be constructed and completed in accordance with plans approved by the Design Review Committee and the Town of Truckee.

H. PLAN SUBMITTAL REQUIREMENTS:

1. **APPLICATION MATERIALS:** Legible and accurately completed and signed.
 - a. Improvement Approval Application – See Appendix C;
 - b. Design Review Fee payable to Donner Crest Owners Association;
 - c. Construction Deposit Procedures – See Appendix D;
 - d. Preliminary Plan Review – Two (2) sets of plans (24"x36");
 - e. Final Plan Review – Two (2) sets of plans (24"x36"); One reduced set of plans (11"x17"); and
 - f. Colored rendering of street frontage elevation(s) – use materials and colors as approved.
2. **SITE PLAN:** Minimum Scale: 1" = 10'-0"
 - a. Name of Applicant, Owner and Surveyor / Civil Engineer preparing the topographic / tree survey;
 - b. Lot number, street address and APN;
 - c. Property lines with metes and bounds;
 - d. Setbacks and easements;
 - e. Directional arrow;
 - f. Existing and revised topographic contours [2 ft. minimum];
 - g. Trees to be saved [5" dbh and greater] and trees to be removed, all by size and specie;
 - h. Adjacent structures, onsite and offsite;
 - i. Pavement edge of fronting street(s) and street name(s);
 - j. Building footprint and roof overhangs dashed with dimensions to property lines at all sides;
 - k. Footprint of uncovered decks, stairs, walks and trash container storage (if detached) or other improvements;
 - l. Snow storage area and calculation of area size;
 - m. Itemized coverage calculations of impervious areas;
 - n. Limits of construction zone; & construction access;
 - o. Driveway radius from street, width, slope and material, vehicular access, circulation and parking;
 - p. Finish floor heights;
 - q. Grading area (if separate Grading Plan is not required) ;
 - r. Retaining wall locations, dimensions and materials;
 - s. Fence location;
 - t. Materials storage area;
 - u. Drainage Plan with BMPs; and
 - v. Grading Plan, if required by the Town of Truckee.
3. **FLOOR PLANS:** Minimum Scale: 1/4" = 1'-0"
 - a. One plan for each floor of every structure;
 - b. Porches, decks and stairs; and
 - c. Square footage for each floor and a total. Show all categories including heated areas, decks, stairways, covered porches, uncovered hardscape, garages and other structures.

4. **EXTERIOR ELEVATIONS:** Minimum scale: 1/4" = 1'-0"

- a. Label elevations with compass orientation (N, S, E, W) and with facing orientation (front, rear, side, and/or side street, if corner lot). ;
- b. Label all materials by type, size (if applicable) and color;
- c. Height of all ridges above natural grade, front to back and side to side (use supporting elevations to determine height);
- d. All roof pitches, materials and colors;
- e. Porches decks, stairs, and rails by materials, sizes and colors;
- f. Window type and sizes;
- g. Doors: Entry, Garage, and Service by size, style, materials and colors;
- h. Utility Boxes: location, trim, and cover;
- i. Lighting fixture locations – all elevations as appropriate;
- j. Detail of stair/porch/deck railings and trash container storage facility, if detached.
- k. House numbers: style, size, location and color; and
- l. Schedule showing above listed materials and colors by manufacturer name/number.

5. **LANDSCAPE PLAN:** Minimum scale: 1" = 10'-0"

Note: Landscape Plans must be submitted and approved prior to completion of the principal residence. Landscaping must be installed and completed within 12 months after completion of the residence.

- a. Landscape Zones – Immediate and Transitional – See Section III-A;
- b. Hardscape – Rock outcroppings, walks, stairs, patios/at-grade decks, and retaining walls with all materials and colors listed;
- c. Turf areas and related irrigation plan;

- d. Locations and names of existing trees to be retained, and new trees, shrubs ground cover massing and selected seed mix;
- e. Schedule of all planting materials stating botanical name and common name, sizes and number of each;
- f. Drainage plan for permanent BMPs; and
- g. Landscape lighting plan, if applicable, including lighting location, fixture identification, number and manufacturer.

6. **EROSION PREVENTION PLAN:** As required by the Town of Truckee and any related Grading Plan, if required.

II. SITE

A. ANALYSIS OF SITE-SPECIFIC CONDITIONS:

ONLY AFTER A THOROUGH UNDERSTANDING OF EACH SITE'S CHARACTERISTICS, OPPORTUNITIES AND CONSTRAINTS CAN A RESPONSIBLE DESIGN BE PROVIDED.

All houses must be designed to fit into the existing topography and not compete with the site's natural features. A survey by a Licensed Land Surveyor or a Registered Civil Engineer is necessary prior to beginning the planning process. The site analysis begins on receipt of the topographic and tree survey. Structures should be designed to provide the maximum amount of privacy possible between homes while taking full advantage of the views and solar access available from each site.

The Site Analysis must provide the following information:

1. Property boundaries with metes and bounds noted;
2. Gross lot area [for coverage calculations];
3. Topographic contours at 1' [preferred for low-slope parcels] or 2' [for steeper parcels] intervals;
4. Trees 5" dbh [diameter at breast height] and larger;
5. Native vegetation existing on site;
6. Indications of areas with greater than 20% slope;
7. Setbacks;
8. Solar access;
9. Best vehicular access to the site;
10. Views onto and away from the site;

11. Snow storage areas for site-generated snow removal;
12. Existing and proposed drainage;
13. Utility easements and installed utilities;
14. Significant site features including but not limited to rock outcroppings and boulders; and
15. Directional arrow.

B. VIEWS AND SOLAR ORIENTATION:

THE FULL VALUE OF EACH PARCEL COMES FROM EXAMINING CAREFULLY THE ASPECT AND THE PROSPECT POSSIBLE FROM EACH PROPOSED BUILDING SITE.

Some views may be desirable—others may not. For example, a view of a nearby neighbor's home may need to be screened to some degree. Other views may be very desirable. The Site Analysis should consider the existing or potential neighbors' homes as well as the ability to provide glazing to take advantage of the sun for passive solar heating and for views.

The view impacts that a proposed house has on another which has already been constructed will be considered by the Design Review Committee. However, these impacts may not necessarily result in modifications to the proposed project.

C. PROTECTION OF SIGNIFICANT SITE FEATURES:

MINIMIZE RESHAPING OF THE EXISTING TOPOGRAPHY WHERE POSSIBLE. THE PROTECTION OF NATURAL FEATURES IN THE

LANDSCAPE WILL MAINTAIN THE BEAUTY CURRENTLY FOUND IN DONNER CREST.

Protection of significant site features, where possible, will strengthen the values of the neighborhood as new homes are developed. Identify and protect rock outcroppings, maturing trees and other vegetation and topography that have significance and provide aesthetic value.

D. BUILDING SETBACKS:

VERIFY THE SETBACKS AND THEN DESIGN ALL STRUCTURAL ELEMENTS TO BE INSIDE OF BUILDING SETBACK LIMITS. CONSIDER STAGGERING THE FRONT SETBACK FROM THOSE OF ADJACENT STRUCTURES. VARIETY AND INDIVIDUALITY WITH REGARDS TO THE SITING OF HOMES IS THE GOAL.

The setbacks listed below should be considered a general guide to the minimum possible setbacks that may be encountered. Consult the final recorded subdivision map and development notebook sheets for information about a specific parcel. Each parcel will have a building envelope that differs from others due to the unique features that will be found on each Lot.

Minimum setback distances are measured from the property line. For single parcels the setbacks are as follows:

Front: 20 feet. This setback distance applies to all portions of a Lot that face any street.

Sides: 10 feet each side.

Rear: 20 feet.

The requirement for setbacks are inclusive of all grading with the exception of that required for the driveway, roof overhangs and other built structures as defined by the Town of Truckee's Development Code. The footprint of the primary residence, porches, decks, detached garages, accessory buildings and other items with a structural component must be contained within the building envelope.

Specific exemptions and allowed encroachments into the required minimum setbacks may be found in the Town of Truckee's Development Code.

When combining two or more Lots, the Front Setback is a minimum of 30 feet, Side Setback is a minimum of 15 feet each side and Rear Setback is a minimum of 25 feet.

For Lots with streets on two sides and only one side setback, the side setback is a minimum of ten feet. Where Lots have more than one possible rear setback, only one has been designated as such. This designation will be found in the development notebook sheets. In these cases, there may be more than two side setbacks.

All accessory structures and other improvements with a structural component must comply with the setbacks stated above.

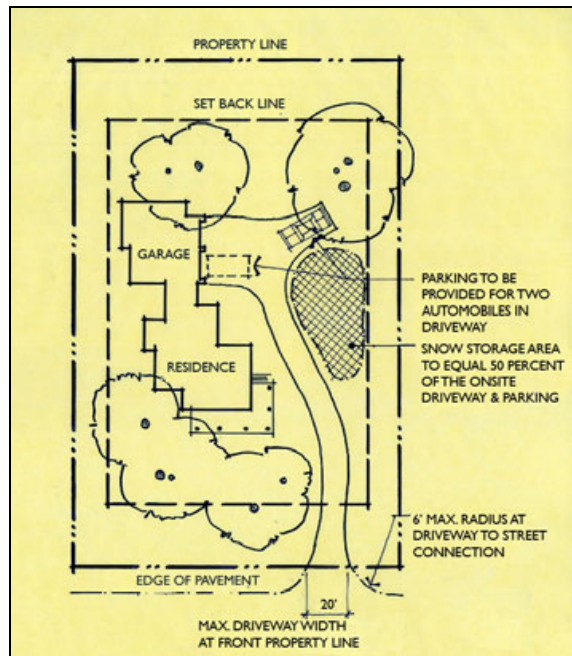
E. MAXIMUM SITE COVERAGE:

LIMIT IMPERVIOUS COVERAGE TO THE MINIMUM POSSIBLE TO ENCOURAGE RAINWATER AND SNOWMELT TO INFILTRATE INTO THE GROUND RATHER THAN CARRY SURFACE POLLUTANTS TO NEARBY STREAMS AND RIVERS.

In accordance with the conditions of approval for the DONNER CREST development, as approved by the Town of Truckee, the maximum total impervious coverage for any site or combination of sites is 34 percent of the gross lot area. Coverage includes all surfaces that prohibit infiltration of rainwater.

F. AUTOMOBILE ACCESS, PARKING AND STORAGE:

THROUGH THOUGHTFUL DESIGN, ATTEMPT WHEREVER POSSIBLE TO LIMIT THE VISUAL IMPACT OF CARS, DRIVEWAYS AND GARAGES. LET THE LANDSCAPE RULE.



Each home must have a minimum of two enclosed parking spaces and must be able to allow two additional cars to be parked in the driveway. Parking on the street will be allowed consistent with the Town of Truckee parking limitations for public rights-of-way and Section 8.15b of the DONNER CREST CC&Rs.

No more than two garage doors are allowed on each lot. Garages to accommodate up to four vehicles may be proposed but no more than two doors may be used to access the enclosed parking area. If a three or four car garage is proposed, provide stalls in a tandem layout so that no more than two doors are required.

Also see the requirements for Garages and Garage Doors in the Building Section of this Design Guide.

Driveway slopes (grades) are limited as follows:

1. In accordance with Town of Truckee improvement and engineering standards, within the street right-of-way, grade slopes shall be two percent (2%) minimum and six percent (6%) maximum from the edge of existing street pavement to the front lot line. A four percent (4%) slope is preferred where possible.
2. At the garage entrance area, a slope of four percent (4%) is preferred in the first ten feet (10') from the edge of the garage doors.
3. In accordance with Town of Truckee improvement and engineering standards, driveway slopes within the lot shall not exceed sixteen percent (16%) in any area. A maximum slope of eleven percent (11%) is preferred where possible.

Minimize the width of paving where it crosses the front setback and the street right-of-way. Keeping the driveway narrow at this point will limit the negative visual impact of

paved surfaces and will allow for more on-street parking spaces being available for overflow parking needs of residents and their guests as well as more area along the road to store snow from removal operations. Within the right-of-way, the driveway width may be no less than 12 feet wide and no more than 20 feet wide where it crosses the front property line (excluding radii). Where the driveway connects to the existing street pavement, the driveway radii shall be a three foot (3') minimum and a six foot (6') maximum.

Driveway encroachments are limited to one per Lot except as follows: If two or more adjacent Lots are purchased and combined, a single driveway may loop and have two connections to the street. Single Lots may not loop their driveways. For lots that have streets on two sides, the driveway should be placed to intersect the less-traveled street, where possible.

Shared driveways are allowed in DONNER CREST. Shared driveways may serve two adjacent lots with one connection to the street. All other requirements for driveways must be satisfied in the design of a shared driveway.

Provide a driveway design that directs surface water runoff into infiltration trenches or stabilized landscape areas and prevents drainage onto the street. All drainage from an individual lot must be infiltrated into the ground within the limits of that lot.

Consider alternatives to asphalt paving for driveways. While monolithic concrete driveways will not be allowed, consider dark-colored pre-cast concrete pavers to reduce the overall impact of asphalt paving at DONNER CREST.

Entry gates and entry monuments on individual parcels are not allowed within DONNER CREST.

G. MOUNTAIN CLIMATE DESIGN:

THOUGHTFUL CONSIDERATION OF THE IMPACT OF HOW SNOW WILL UNLOAD FROM ROOFS AND DRAIN FROM DRIVEWAYS WILL PROVIDE VALUE TO A HOME IN TERMS OF SAFETY AND REDUCED MAINTENANCE.

A snow storage area must be identified on the Site Plan that equals 50 percent of the on-site driveway and parking area. Snow that is removed from an individual parcel may not be relocated off site for storage. The minimum snow storage area must be a minimum of ten feet in any dimension and must be located near the side or rear of the area being cleared.

Consider the following when planning your home at DONNER CREST:

1. Snow storage from removal operations in the street;
2. Snow storage from clearing activities from your home's driveway and walkways;
3. Snow and ice unloading from roof eaves;
4. Onsite snow storage may not be planned within the 10' wide P.U.E. along the front or side street setback areas; and
5. Maintaining your snow storage away from neighboring parcels.

Most driveways are cleared with blowers, either from small homeowner-operated machines or from medium-sized, commercial operators. When identifying a location for snow storage on site, be mindful of the need to blow snow to a location down-gradient and away from the areas of the site that need access. Other requirements for designating the

snow storage area may be found in the Town of Truckee's Development Code.

When considering your building form and the slope and direction of roofs, be aware of the potential impact unloading snow and ice may have on neighboring parcels. Due to the potential for property damage and personal injury, roofs that could allow snow to impact a neighbor's parcel must be constructed with a design that inhibits the sliding action of built-up snow and ice. Composition shingle roofing or low-slope roof framing are two options to consider.

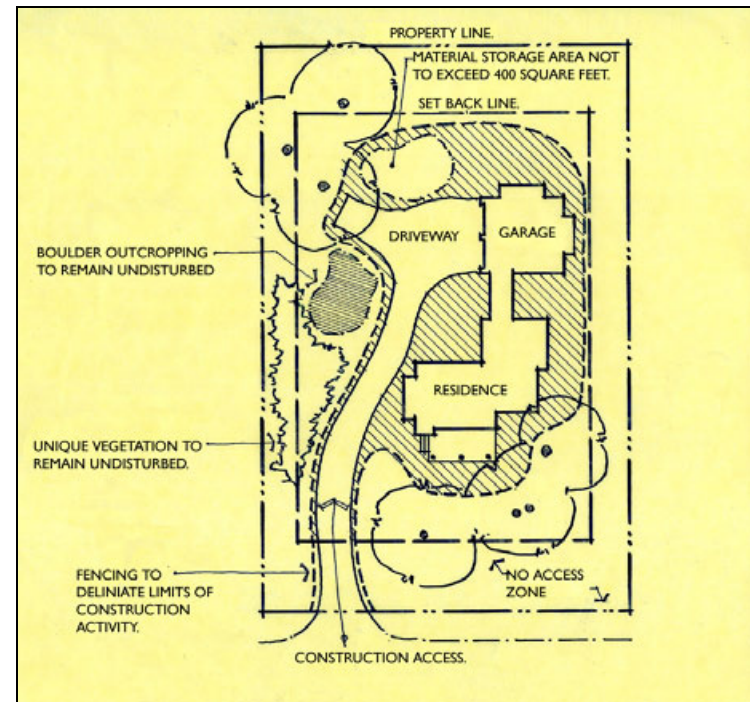
H. UTILITIES:

TO AVOID THE VISUAL POLLUTION OF OVERHEAD UTILITIES, ALL MUST BE ROUTED BELOW GRADE.

All utilities serving individual homes shall be routed below grade in accordance with Town of Truckee and the serving utility company's requirements.

I. LIMITS OF CONSTRUCTION:

LIMIT THE CONSTRUCTION ACTIVITY TO CERTAIN PORTIONS OF THE SITE IN ORDER TO MAINTAIN THE NATURAL AREAS THAT MAKE DONNER CREST A DESIREABLE NEIGHBORHOOD.



On the Site Plan, designate only one area of access for construction. This must be in the same place where the driveway is planned. Other portions of the front setback will be designated as a no-access zone and must be kept in their natural state except for utility connection purposes.

A Construction Zone shall be designated on the plans and maintained during construction in an effort to keep as much of the project site in a natural state as possible. This Construction Zone, other than the materials storage area hereinafter referred to, shall not extend more than 15 feet beyond the eave lines, nor closer than three feet (3') to the side lot lines, nor into any natural or improved drainage swale, nor farther than five feet (5') from each side of the Construction Access Zone (future driveway), and must be fenced with a four foot (4') high green temporary fence (Construction Fencing). Orange or yellow protection fencing will not be approved for use in DONNER CREST. THE OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTINUOUS MAINTENANCE, OF THE CONSTRUCTION FENCE DURING THE ENTIRE CONSTRUCTION PERIOD. THIS INCLUDES ENSURING THAT THE FENCE IS IN AN UPRIGHT AND FUNCTIONAL CONDITION AT ALL TIMES.

In addition to the limits indicated above, one additional area not to exceed 400 square feet may be designated as a materials storage area. Where possible, locate this area where it will do the least harm to the existing vegetation of the lot. The green temporary fencing must enclose this area as well. Storage of materials or equipment or use by construction crews will not be allowed outside of the Construction Zone.

All trees within or immediately adjacent to the limits of the Construction Zone that are indicated to be saved must have the green temporary protection fencing installed at the drip line to protect the roots from compaction during construction. Where drip line fencing is not feasible due to the canopy of the tree extending into the construction zone, provide dimensional lumber or equivalent protection strapped to the trunk extending from the ground to ten feet high or to the bottom of the lowest overhanging branches.

Areas of the site disturbed during construction must be protected from erosion as soon as possible. This can be in the form of replanting these areas or by way of a ground cover or mulch.

See Section II-K, Best Management Practices, for more information.

J. PROTECTION OF ADJACENT PROPERTIES:

APPROPRIATE MEASURES MUST BE TAKEN TO MINIMIZE THE POSSIBILITY OF IMPACTING AREAS OUTSIDE OF THE BUILDING ENVELOPE AND ADJACENT PROPERTIES.

Potential negative impact and property damage could result from construction materials, equipment, or debris encroaching onto adjacent unimproved parcels or impacting a neighboring home or construction project that is in progress or has been completed. All such materials and equipment are to be located within the fenced Construction Zone and any debris or garbage is to be kept in a covered container until scheduled pick-up. Any excess debris or garbage which exceeds the capacity of the container, when covered, is to be removed daily.

K. BEST MANAGEMENT PRACTICES:

BEST MANAGEMENT PRACTICES [BMPs] ARE REQUIRED AT DONNER CREST. PROVIDE A PLAN TO INCORPORATE SOIL RETENTION DEVICES DURING CONSTRUCTION AND

PERMANENT ON-SITE DRAINAGE RETENTION ONCE THE CONSTRUCTION IS COMPLETED.

Permanent BMPs are methods designed to help developed parcels function more like a natural, undisturbed forest. After installation of BMPs, rainwater and melting snow can flow to streams and rivers with less silt, sediment and surface pollutants. BMPs mimic natural conditions by slowing and filtering surface water runoff, which helps keep the downstream waters clear and clean.

Temporary BMPs during the construction process must be utilized until construction progresses to a point where all soil is stabilized. Once the project's soils have been stabilized, permanent BMPs must be constructed in the interest of keeping soil erosion to a minimum.

One example of a permanent BMP requirement is the installation and maintenance of graveled drip line trenches measuring a minimum of 24" wide and a minimum of 8" deep or as otherwise required under all eaves and decks to contain runoff from a twenty-year, one-hour storm event.

Information regarding Best Management Practices required at DONNER CREST can be found at the link to the Lahontan Region of the State of California Water Quality Control Board: <http://www.waterboards.ca.gov/lahontan>. Additional information is contained in the adopted Town of Truckee Minimum Standards for Year-Round Erosion Preservation on One and Two Family Dwelling Construction Projects. An additional resource which might be helpful is the information found at <http://www.tahoebmp.org>.

L. FENCING AND DOG RUNS:

UNDER MOST CIRCUMSTANCES, FENCES CANNOT BE APPROVED IN DONNER CREST. SITE WALLS MAY BE APPROVED IF SCALED CORRECTLY FOR THE SIZE OF THE HOME AND LOT. LIMITING THE VISUAL IMPACT OF ENCLOSURES FOR PETS WILL CREATE A MORE DESIRABLE NEIGHBORHOOD.

Fencing other than wood, dark steel or wrought iron decorative fencing no more than three feet high enclosing a portion of the yard will not be approved in DONNER CREST. If fencing is proposed, it must be designed to be substantially open so as not to obstruct scenic views or the movement of non-domestic animals.

The enclosed area inside a fence is limited to no more than 25% of the parcel. Fences may not define property lines or enclose the perimeter of the lot, or encroach into the front or any side street setback areas on the lot.

Enclosures for dogs are discouraged within DONNER CREST. Dog runs will be considered for approval if the visual impacts are fully mitigated and they are located at the rear of the house and constructed of a material with low visual impact. An example of such an enclosure would be black chain link fencing located under an elevated rear porch with an enclosure that uses the same or complementary materials and fits well with the architectural elements of the home.

Where a dog run is desired and cannot be located under other parts of the structure, locate it such that it is connected to the structure and can be substantially hidden from the street. Free-standing dog runs will not be approved.

M. EXTERIOR STORAGE:

EXPOSED STORAGE OF ITEMS AROUND THE PERIMETER OF A HOME IS DETRIMENTAL TO THE OVERALL VISUAL QUALITY OF A NEIGHBORHOOD.

Exterior storage must be concealed in a way to result in no visual impact from any street. Storage is not allowed on porches, decks, balconies or terraces or anywhere else on the exterior of a building.

Visible structures created for storage must be architecturally compatible with the remainder of the structure's design and exterior materials and shall fully enclose the materials being stored.

If storage is proposed underneath a deck or balcony, that area must be fully enclosed so that the stored items are not visible from the exterior.

The exception to the above is the storage of neatly stacked firewood not exceeding five cords. Firewood must be screened from view from streets and common areas.

Tarps may be used to temporarily cover an item exposed to the weather for a period of not longer than 90 days or for exposed firewood for a period of not more than 180 days. Temporary tarps must be dark brown or dark green in color. No other colors will be permitted for use in DONNER CREST.

Also see the requirements for Exterior Storage Structures in the Structures Section IV Q of this Design Guide.

N. HOUSE NUMBERS AND SIGNS:

SIGNS IN DONNER CREST, OTHER THAN NEEDED TO IDENTIFY THE STREET ADDRESS, SHOULD BE DISPLAYED ONLY AS NECESSARY TO GIVE REQUIRED INFORMATION, AND ONLY FOR A LIMITED DURATION.

House numbers must be posted on the residential structure and must be a minimum of 4" and a maximum of 6" high with enough contrast between the numbers and the background color to be legible from the street.

House numbers may be lit with low intensity lights that are fully shielded and project the lighting directly onto the numbers only.

All temporary identification signs must be created using the same materials, colors, format and detailing as the original Lot Identification signs placed by DONNER CREST, LLC. This information is available from the DRC and the DONNER CREST Owners Association.

Each temporary identification sign allowed may not exceed six square feet and must be placed parallel to the street. Signs shall be rectilinear in shape. All signs must be supported by its own posts—they may not be attached to any tree or affixed to any structure.

During periods of active initial construction, one temporary identification sign may be placed identifying the Owner, the project address, the design professional and the builder only. This sign may be displayed only during periods of active construction work. See Appendix B.

One FOR SALE or FOR RENT sign is allowed in addition to the above limitations. Realtor signs shall only be displayed during periods of active marketing of the property and must also be created using the same materials, colors, format and detailing as the original lot signs placed by DONNER CREST, LLC. See Appendix B.

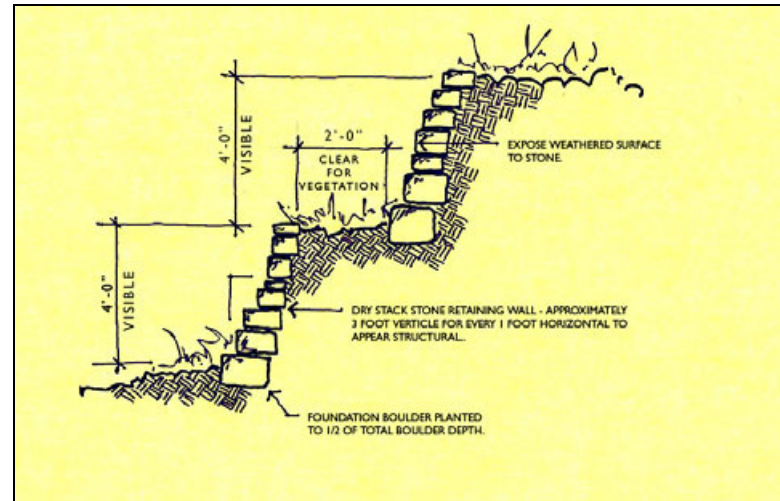
Additional signage for subcontractors, material suppliers, landscape contractors and lending institutions are not allowed in DONNER CREST. Open House sandwich board signs are not allowed in DONNER CREST other than during the hours a house is actively being “held open”.

Temporary notification signs required to be posted on a Lot by governmental agencies are not subject to the requirements noted above.

Any sign that is not in compliance with these Guidelines may be removed by the DONNER CREST Owners Association.

D. RETAINING WALLS:

OVERSCALED RETAINING WALLS CREATE AN UNPLEASANT AND UNNATURAL EFFECT. WHERE RETAINING WALLS ARE REQUIRED, OFFSET THEM AT FOUR-FOOT INTERVALS VERTICALLY TO REDUCE THE APPARENT HEIGHT UNLESS THEY ARE COVERED BY A STRUCTURE.



Retaining devices exposed to view, whether concrete walls, landscaping block walls, stone walls or wood walls, may have no more than four feet of visible vertical rise [not including below grade portions of the walls] without a horizontal offset of at least two feet clear for planting vegetation between the walls.

P. GRADING:

MINIMIZE GRADING TO THAT ABSOLUTELY NECESSARY. STRUCTURES MUST BE DESIGNED TO FIT THE PARTICULAR SITE RATHER THAN GRADING THE PARTICULAR SITE TO FIT A STRUCTURE DESIGNED FOR A DIFFERENT SITE. PROJECTS THAT PROPOSE EXCESSIVE AREAS OF VEGETATION REMOVAL OR STEEP SLOPES ARE UNWISE IN TERMS OF SLOPE STABILITY AND EROSION OF SOILS.

Minimize the area of disturbance to soil and vegetation to that required for construction activities. Excessive grading that creates an unnatural-appearing landform in order to fit structures onto a site will not be approved. Step the proposed building's foundations up or down a hillside so that it follows the existing contours of the site.

Site access shall be limited to one location—the final driveway location.

Grading shall also be designed and carried out to minimize the disturbance of rock outcroppings, natural drainage courses, trees indicated to-be-saved as well as all other distinctive or unique site features.

Grading of Lots shall not increase or divert surface drainage in a way that will be detrimental to any adjacent or down-gradient lot, rights-of-way or common areas. Provide positive drainage away from the foundation walls at the perimeter of all structures.

Grading on Lots shall not leave slopes in excess of 2:1 [horizontal to vertical]. Where steeper slopes are required, use a retaining device. When boulders are used for retaining walls, be certain that these boulders are planted at least 50 percent below grade, the weathered faces are exposed and there are no scratches visible from the equipment used to place them.

In areas of a Lot where the existing gradient is greater than 20%, extra diligence must be exercised in the design and construction of homes to minimize negative visual and environmental impacts.

Fill areas and excavation from the original grade must be engineered by a professional engineer and must be specifically approved by the Design Review Committee and the Town of Truckee prior to beginning construction.

Where a hardship can be proven to the satisfaction of the Design Review Committee, grading may encroach into side or rear setbacks no more than one-half the distance of the setback. Grading in the front setback is limited to that required for the installation of utilities to the project and the minimum area required for driveway access. Grading must be specifically approved by the Design Review Committee and the Town of Truckee prior to beginning construction.

Q. LOT ENTRANCE MARKERS:

DUE TO SNOW REMOVAL CONSIDERATIONS, LOT ENTRANCE MARKERS ARE NOT ALLOWED WITHIN DONNER CREST.

Place address identification on a portion of the structure or an element that extends from the structure. Address or other means of identification not connected to a part of the structure will not be approved in DONNER CREST.

R. TREE REMOVAL AND LIMBING:

REMOVAL OF NATIVE VEGETATION OF ANY KIND IS PROHIBITED UNLESS IT IS DEAD, DISEASED OR IN THE AREA REQUIRED TO BUILD A HOME. IT IS THE INTENT THAT DONNER CREST WILL KEEP THE NATURAL LANDSCAPE AS THE DOMINANT IMAGE.

No trees larger than five inches diameter at chest height may be removed from any Lot without prior specific approval from the Design Review Committee. Approval will be granted by the Design Review Committee to remove specific trees and

other vegetation if they are in the immediate area required to build a home.

All dead trees shall be removed promptly. When trees larger than five inches diameter at chest height are determined by the Owner to be diseased, they may be removed after permission is granted in writing by the Design Review Committee or the Association.

Dead tree limbs from live trees, up to a height of 16 feet shall be removed promptly. Beyond that height, removal is allowed without prior approval of the Committee or the Association.

The pruning or removal of live tree limbs to a maximum height of 12 feet above grade [where the limb attaches to the tree] is allowed without approval from the Design Review Committee. Beyond that height, approval from the Design Review Committee is required prior to performing the work unless limbs are touching structures or are within ten feet of a chimney.

All lots and the Common Areas in DONNER CREST are subject to measures related to applicable requirements of the Donner Crest Fire Suppression and Vegetation Management Plan set forth in Exhibit "B" of the recorded CC&Rs for DONNER CREST, and to more stringent requirements subsequently adopted by governing public agencies.

S. SNOW STAKES:

USE SNOW STAKES MADE OF A DARK MATERIAL TO MINIMIZE THEIR VISUAL IMPACT YET BE OF A COLOR THAT CONTRASTS WITH THE SNOW.

Do not use white or tan colored plastic piping for snow stakes to demarcate the edges of driveways, walkways or other hazards to snow removal. Instead use dark grey or black plastic or black iron [gas pipe] when installing snow stakes.

Remove snow stakes and store inside a structure when they are not needed for snow removal operations. Generally stakes are needed from October 15 to May 1.

If using plastic snow stakes, be certain that they are a minimum of 1" in diameter and that the color does not fade over time to a point where they become light in color. If this happens, spray painting a dark color may be necessary. Black iron snow stakes will rust over time. They do not need to be painted to maintain the dark color. With either type of snow stake a light-colored cap or piece of reflective tape is recommended near the top to increase visibility at night.

III. LANDSCAPE

Contributed by: L+P DESIGNWORKS

A. GENERAL GUIDE:

KEEPING THE EXISTING NATURAL LANDSCAPE AS THE PREDOMINANT VISUAL IMAGE IS THE GOAL OF THESE LANDSCAPE GUIDELINES. WHERE POSSIBLE, USE NATIVE PLANTS THAT ARE TOLERANT OF INTENSE YEAR-ROUND SUN, HEAVY SNOW AND LENGTHY DROUGHT CONDITIONS THAT OCCUR IN OUR CLIMATE.

Zones of landscape preservation and enhancement shall be established according to the following:

1. 'Immediate Zone' – that area closest to the house and outdoor living areas and most intensely landscaped.
2. 'Transitional Zone' – the area beyond 'Immediate' zone.

Establishment of the size and extent of these zones shall have a logical and aesthetically pleasing flow and shall not read as individual zones. It is suggested that the designer utilize plant materials found in both landscape zones to create a seamless blending within the transition zone. Forms within these zones shall be curvilinear and by no means should become rectilinear or parallel to property lines.

Cluster planted materials in groupings that emulate natural settings. The most intense plantings should be closest to the

structures. In order to create a sense of harmony with the surrounding natural environment, it is recommended that a pallet of materials be limited to ten species within the 'Immediate Zone' and five species in the 'Transition Zone'.

It is a goal to maintain the natural landscape as the predominant visual reference at DONNER CREST. As such, landscape plans that attempt to emphasize property lines will not be approved. As an example, linear rows of plantings near property lines cannot be approved. Screening shrubs shall be placed to harmonize with existing native materials and clustered in groupings that mimic those found in the natural environment.

The use of materials made of synthetic materials that emulate natural plant materials will not be approved.

Natural and organic fertilizers are encouraged. Use of these materials offers consistently greater effectiveness, less effort, less disease and fewer environmental hazards.

Irrigation systems that are required for the initial establishment of trees and shrubs may eventually be unnecessary. However, supplemental water during periods of natural drought has been shown to be of great benefit to even long-established vegetation.

The DONNER CREST area is part of a deer migration corridor. Particularly in the late Summer and Fall, foraging deer can virtually destroy landscaping--especially newly-planted landscapes. Those requiring or desiring a low maintenance landscape are advised to utilize deer-resistant plant material. Below is a list of preferred plant materials for DONNER CREST. Materials with an [*] by it will be less likely to be impacted by foraging animals. Should a more ornamental landscape scheme, including plants that tend to attract deer be desired, a defense utilizing a sulfur-based spray repellent is

recommended. Trees that attract deer should be sized so that only lower branching is vulnerable to foraging, leaving a substantial crown that cannot be reached by mature deer.

B. MINIMUM REQUIREMENTS:

A MINIMUM OF LANDSCAPE INSTALLATION AND MAINTENANCE IS REQUIRED TO PRESERVE THE AESTHETIC CHARACTER OF DONNER CREST AND TO PROTECT STREAMS AND SOIL RESOURCES.

Unless designated for more-intensive landscape uses, all disturbed areas shall be revegetated using one of the seed mixes below. Seed Mix 'A' is preferred for the lowest-level maintenance. Seed Mix 'B' provides the same soil stabilization properties with some added color of drought resistant wildflowers. Seed Mix 'C' is only recommended for those who wish to have wildflower color, don't mind some late summer trimming and are willing to provide subsequent yearly over-seeding.

Seeding shall occur in the Fall following disturbance or completion of construction which ever comes first. Seeded areas shall be evaluated one year from completion for substantial coverage. A minimum of 85% established growth will be expected. Should a deficit be evident, over seeding of thin or bare areas shall be performed and subject to subsequent yearly evaluations until the 85% requirement is met. Methods for seed application accompany the lists.

MAINTENANCE:

- ❑ Grasses and weeds naturally occurring on the site shall be kept trimmed to a height of no more than eight inches high.
- ❑ Vegetative material (brush, flammable vegetation or combustible growth) shall be cleared within 30 feet of a structure and interrupted out to 100 feet or to the property line, whichever is nearer.
- ❑ Other large shrubs shall be pruned to maintain an attractive, controlled appearance.
- ❑ Dead and dying shrubs, trees and tree limbs shall be removed promptly upon visual evidence of such.
- ❑ All disturbed areas shall be mulched with weed-free, locally obtained pine needles until substantial coverage by seeding is obtained. Additionally, prolonged exposure of disturbed areas is prohibited; a minimum one-inch thick mulch of pine needles, or approved equal, shall be applied to prevent erosion of soils during the construction season. Formal planter beds shall be mulched with either soil-building compost or weed-free pine needles yearly until groundcovers take substantial hold or as a substitute for groundcovers. In order to enhance soil structure and provide an optimum growing medium for plant material and reduce the need for water and nutrient supplementation, implementation of a yearly mulching regimen utilizing soil-building compost is recommended for planter beds.

FRONT YARD LANDSCAPING:

In order to create a sense of continuity throughout DONNER CREST a minimum landscaping is required for front yards:

| | <u>Interior Lots</u> | <u>Corner Lots</u> |
|---------------|-------------------------|--------------------|
| Trees: | 5 | 10 |
| Shrubs: | 15 | 30 |
| Groundcovers: | recommended as a finish | |
| Seed Mix: | A, B, or C | |

A credit for existing trees and shrubs on site shall be granted. Existing trees a minimum of 8 feet tall and existing shrubs a minimum of 3 feet tall will receive credit. All new plant material shall be irrigated with a drip irrigation system on an automatic timer and designed for winterization. Adequate maintenance shall be performed to ensure vigorous and healthy growth and survival of all planting. A list of preferred materials and sizes for required front yard landscapes is as follows:

TREES:

- Pinus jeffreyi ----- Jeffrey Pine ----- 5-6' tall
- Populus tremuloides ----- Quaking Aspen ----- 1.5"-2" caliper

SHRUBS:

- Ribes cereum ----- Wax Currant ----- 5 gallon
- Ribes nevadense ----- Pink Mtn. Currant ----- 5 gallon
- Salix species ----- Native Willows ----- 5 gallon
- Sambucus caerulea ----- Blue Elderberry ----- 5 gallon
- Spiraea densiflora ----- Mountain Spirea ----- 5 gallon

GROUNDCOVERS:

- Arctostaphylos uva ursi ---- Bearberry Manzanita ----- 1 gallon
- Asperula odorata ----- Sweet Woodruff ----- 4"
- Rubus parviflorus ----- Thimbleberry ----- 1 gallon

C. TURF:

FUNCTIONAL TURF AREAS CAN ADD TO THE OPEN LIVING SPACE OF A RESIDENCE.

Turf areas should be proposed in areas near the structures. In no case should they extend more than 50% into any setback or beyond limits of disturbance. Additionally, edges of the turfed areas shall have an organic shape rather than parallel to the property lines or the edges of the home.

Turf areas are prohibited in front yards except in situations where restrictive site conditions warrant and are subject to review and approval by the Design Review Committee. If approved, screening from the street will also be required.

Be responsible with the treatment of turf areas with commercial fertilizers that will pollute the ground water and surface runoff. Natural, biodegradable materials can be used with superior long term effectiveness by not only supplementing nutrient availability but improving soil conditions as well.

Turf must be watered by an automatic irrigation system designed for winterization. The drip irrigation systems for trees and shrubs may be removed only after they have become established.

D. OTHER PLANTING:

IN THE INTEREST OF MAINTAINING THE NATURAL APPEARANCE OF DONNER CREST, THE PLANTING OF ENDEMIC NATIVE SPECIES IS ENCOURAGED.

Landscape planting should blend with the native species found in the DONNER CREST area and be tolerant to the extremes of our climate.

BOTANICAL NAME**COMMON NAME****TREES**

| | |
|--|----------------------------------|
| *ABIES conolor----- | WHITE FIR |
| *ALNUS tenuifolia----- | MOUNTAIN ALDER |
| *ACER grandidentatum----- | ROCKY MOUNTAIN BIGTOOTH MAPLE |
| *BETULA occidentalis var. fontinallis----- | WATER OR WESTERN RIVER BIRCH |
| *CRATAEGUS species----- | HAWTHORNE |
| *JUNIPERUS occidentalis----- | SIERRA JUNIPER |
| *JUNIPERUS scopulorum----- | ROCKY MOUNTAIN JUNIPER |
| MALUS species----- | APPLE & CRABAPPLE |
| *PICEA abies----- | NORWAY SPRUCE |
| *PINUS contorta murrayana----- | LOGGEPOLE PINE |
| *PINUS flexilis----- | LIMBER PINE |
| *PINUS jefferyi----- | JEFFERY PINE |
| *PINUS longaeva (P. aristata)----- | WESTERN BRISTLECONE PINE |
| *PINUS mugo----- | MUGO PINE |
| POPULUS tremuloides----- | QUAKING ASPEN |
| PRUNUS subcordata----- | MODOC PLUM |
| SORBUS aucuparia----- | EUROPEAN MOUNTAIN ASH |

SHRUBS

| | |
|---------------------------------------|--------------------------------|
| *ACER campestre----- | HEDGE MAPLE |
| *ACER circinatum----- | VINE MAPLE |
| *ACER ginnala----- | AMUR MAPLE |
| *ACER glabrum----- | MOUNTAIN MAPLE |
| AMELANCHIER alnifolia----- | SERVICEBERRY |
| AMELANCIER spp.----- | SERVICEBERRY HYBRIDS |
| *ARETMISIA species----- | WORMWOOD |
| *ARCTOSTAPHYLOS patula----- | GREENLEAF MANZANITA |
| *CERCOCARPUS ledifolius----- | MOUNTAIN MAHOGANY |
| *CHRYSOTHAMNUS nauseosus----- | RABBIT BRUSH |
| CORNUS alba----- | VARIEGATED RED-TWIG DOGWOOD |
| CORNUS sericea----- | RED-TWIG DOGWOOD |
| CORNUS flaveramea----- | YELLOW-TWIG DOGWOOD |
| HOLODISCUS discolor var. dumosus----- | ROCK SPIRAEA |
| *LONICERA involucrate----- | TWINBERRY |
| PHYSOCARPUS species----- | NINEBARK |
| *POTENTILLA fruticosa----- | CINQUIFOIL [WOODY] |
| PRUNUS emarginata----- | CHOKE CHERRY |

| | |
|-----------------------------------|--------------------------------|
| RIBES aureum----- | GOLDEN CURRANT |
| RIBES cereum----- | WAX CURRANT |
| RIBES nevadense----- | SIERRA CURRANT |
| ROSA harisonii----- | HARISON'S YELLOW ROSE |
| ROSA rugosa 'Hansa'----- | HARDY TOMATO ROSE |
| ROSA rugosa 'Therese Bugnet'----- | THERESE BUGNET ROSE |
| ROSA woodsii----- | WOOD'S ROSE |
| RUBUS odoratus----- | ROCKY MOUNTAIN THIMBLEBERRY |
| RUBUS parviflorus----- | THIMBLEBERRY |
| *SALIX species----- | WILLOW SPECIES |
| *SALVIA species----- | HARDY SAGE |
| SAMBUCUS mexicana----- | BLUE ELDERBERRY |
| *SORBUS scopulina----- | WESTERN MOUNTAIN ASH |
| *SPIRAEA varieties----- | SPIREA SHRUB SPECIES |
| *SPIRAEA densiflora----- | ALPINE SPIRAEA |
| *SYMPHORICARPOS albus----- | COMMON SNOWBERRY |
| *SYRINGA vulgaris----- | LILAC |
| *VIBURNUM species----- | HIGHBUSH VIBURNUM |

PERENNIALS

| | |
|------------------------------------|--|
| *ACHILLEA millefolium species----- | WHITE YARROW HYBRIDS – <i>[The use of A. millefolium is discouraged as it chokes out more desirable plants]</i> |
| ACONITUM species----- | MONKSHOOD |
| ALCEA rosea----- | HOLLYHOCK |
| *ALLIUM species----- | ONION |
| ANEMONE species----- | ANEMONE |
| *ANTENNARIA species----- | PUSSY TOES |
| AQUILEGIA species----- | COLUMBINE |
| ARUNCUS dioicus----- | GOAT'S BEARD |
| *ARETMISIA species----- | WORMWOOD |
| ASTER species----- | ASTER |
| CALOCHORTUS species----- | MARIPOSA LILY |
| CALTHA species----- | MARSH MARIGOLD |
| *CAMASSIA quamash----- | CAMAS |
| CAMPANULA species----- | BLUEBELL |
| *CASTILLEJA species----- | INDIAN PAINTBRUSH |
| CROCUS species----- | CROCUS |
| DELPHINIUM species----- | DELPHINIUM |
| DIANTHUS species----- | PINKS |
| DICENTRA species----- | BLEEDING HEART |
| DODECATHEON species----- | SHOOTING STAR |
| *ECHINACEA species----- | PURPLE CONEFLOWER |

| | |
|------------------------------|---------------------------------|
| ERYTHRONIUM species | TROUT LILY |
| ERYSIMUM species | WALLFLOWER |
| *FETUCA ovina | BLUE FESCUE |
| *GALLARDIA aristata | BLANKET FLOWER |
| *GEUM species | GEUM |
| GERANIUM spp. | CRANESBILL/HARDY GERANIUM |
| HEMEROCALIS cultivars | DAYLILY |
| *HERACLEUM lanatum | COW PARSNIP |
| HUCHERA species | CORAL BELLS |
| IRIS hybrid sibivicasibirica | SIBERIAN IRIS |
| LILIUM species | LILY |
| *LINUM lewisii | BLUE FLAX |
| LUPINUS species | LUPINE |
| *MATTEUCCIA struthiopteris | OSTRICH FERN |
| MALVA species | MALLOW |
| MIMULUS lewisii | LEWIS' MONKEYFLOWER |
| MIMULUS guttatus | YELLOW MONKEYFLOWER |
| *MISCANTHUS sinensis | MAIDEN GRASS |
| PAEONIA species | PEONY |
| *PAPAVER orientalis | ORIENTAL POPPIES |
| *PANICUM virgatum | SWITCH GRASS |
| PENSTEMON species | PENSTEMON |
| *PHALARIS arundinacea | RIBBON GRASS |
| PHLOX paniculata | SUMMER PHLOX |
| POLEMONIUM occidentale | JACOB'S LADDER |
| POLEMONIUM species | JACOB'S LADDER |
| POTENTILLA species | SLENDER CINQUEFOIL |
| PUSATILLA species | PASQUE FLOWER |
| RHEUM rhabarbarum | RHUBARB |
| *RUDBECKIA species | CONEFLOWER / BLACKEYED SUSAN |
| SAPPONARIA officinalis | SOAP WORT |
| SIDALCEA species | MALLOW |
| SOLIDAGO species | GOLDENROD |
| TIEARELLA species | FOAM FLOWER |
| VIOLA species | VIOLET |
| THALICTRUM species | MEADOW RUE |

GROUNDCOVERS AND VINES

| | |
|----------------------------|----------------------|
| AJUGA reptans | CARPET BUGLE |
| *ARCTOSTAPHYLOS nevadensis | PINE MAT MANZANITA |
| *ARCTOSTAPHYLOS uva-ursi | BEAR BERRY MANZANITA |
| *ASPERULA oderata | SWEET WOODRUFF |

| | |
|--------------------------------------|----------------------------|
| *CEANOTHUS prostratus | SQUAW MAT |
| CLEMATIS sp. | CLEMATIS [VINE] |
| S*COTONEASTER dammeri 'Eicholz' | BEAR BERRY COTONEASTER |
| *ERIOGONUM umbellatum | SULFUR FLOWER |
| FESTUCA species | FESCUE TURF VARIETIES |
| *FRAGARIA virginiana | MOUNTAIN STRAWBERRY |
| *HUMULUS lupulus | HOP [VINE] – move to vines |
| *JUNIPERUS communis | ALPINE CARPET |
| *PHLOX subulata | CREeping PHLOX |
| RANUNCULUS repens 'Pleniflorus' | CREeping BUTTERCUP |
| *SYMPHORICARPOS chenaultii 'Hancock' | CREeping CORALBERRY |
| *SYMPHOROCARPUS mollis | CREeping SNOWBERRY |
| *VINCA minor | PERIWINKLE |

SEED MIX A [Low Maintenance and Low-Water Requirement]

| SPECIES | AMOUNT |
|----------------------------|-------------------|
| Mountain big sagebrush | 0.50 pls lbs/acre |
| Bitterbrush | 2.00 pls lbs/acre |
| Wax Currant | 0.25 pls lbs/acre |
| Bromar mtn brome | 4.25 pls lbs/acre |
| Sherman big bluegrass | 4.00 pls lbs/acre |
| Stan 5000 Blue wildrye | 3.00 pls lbs/acre |
| Sandberg bluegrass | 4.00 pls lbs/acre |
| Revenue slender wheatgrass | 7.00 pls lbs/acre |

SEED MIX B [Low Maintenance and Low-Water Requirement]

| SPECIES | AMOUNT |
|----------------------------|-------------------|
| Mountain big sagebrush | 0.50 pls lbs/acre |
| Bitterbrush | 1.00 pls lbs/acre |
| Wax Currant | 0.25 pls lbs/acre |
| Bromar mnt brome | 3.65 pls lbs/acre |
| Sherman big bluegrass | 4.00 pls lbs/acre |
| Stan 5000 Blue wildrye | 3.00 pls lbs/acre |
| Sandberg bluegrass | 4.00 pls lbs/acre |
| Revenue slender wheatgrass | 5.00 pls lbs/acre |
| Penstemon speciosus | 0.25 pls lbs/acre |
| Lupine argenteus | 1.00 pls lbs/acre |
| Sulphur buckwheat | 0.75 pls lbs/acre |
| Gilia aggregata | 0.10 pls lbs/acre |
| Blue flax | 1.50 pls lbs/acre |

SEED MIX C [Higher Maintenance and High Water Requirement*]

| SPECIES | Per/Ann | % by wgt |
|----------------------------------|----------------|-----------------|
| Arrowleaf | P | 4 |
| Aster Sierra (yellow) | P | 3 |
| Bachelor Buttons | A | 5 |
| Black-eyed Susan | P | 5 |
| Buckwheat, Sulfur | P | 4 |
| Candytuft | A | 3 |
| Catchfly | A | 3 |
| Cinquefoil | P | 3 |
| Coreopsis Lanceleaf | P | 3 |
| Coreopsis Plains | A | 2 |
| Flax Blue | P | 7 |
| Flax Scarlet | A | 5 |
| Goldenrod | P | 2 |
| Indian Blanketflower | P/A | 5 |
| Indian Paintbrush | P | 1 |
| Iris Missouriensis | P | 6 |
| Keckiella Breviflora | P | 1 |
| Lupine Blend (Argenteus) | P | 5 |
| Monkeyflower Blend (Lewis, Red) | P | 1 |
| Peony Brownii | P | 3 |
| Penstemon Blend | | |
| (Rydgergii, Strictus, Speciosus) | P | 5 |
| Poppy, California | A | 7 |
| Poppy, Flanders | A | 4 |
| Primrose Hookers | A | 1 |
| Shasta Daisy | P | 5 |
| Showy Goldeneye | P | 1 |
| Sierra Larkspur | P | 1 |
| Wallflower | A | 5 |
| | | 100% |

* Maintenance of this Mix is necessary for optimum visual appearance. A yearly over-seeding of the same mix will be necessary to maintain the color and visual variety achieved the first year of growth. In addition, this mix will require trimming in late summer to maintain a neat appearance.

METHOD FOR SEED MIX APPLICATION

In the Fall prior to first snow and after growing season has ended:

1. Prepare disturbed soil by working up compacted areas to a minimum depth of 6" and rake smooth all areas to create a uniform surface for even seeding.
2. Incorporate an organic compost at a rate of 1/3 compost to 2/3 soil
3. Broadcast seed at rate recommended in list
4. Lightly rake into top 1/4" of soil
5. Broadcast an organic starter fertilizer at rate recommended by manufacturer
6. Mulch with a 1/2" layer of weed-free pine needles

IV. STRUCTURES

A. OVERVIEW:

GOOD DESIGN HELPS CREATE GOOD NEIGHBORHOODS. GOOD NEIGHBORHOODS MAKE FOR STRONG COMMUNITIES.

The intent of these Design Guidelines is to assist those developing DONNER CREST Lots to foster the notion of strong communities through the use of responsible site and building design.

All structures must be designed to fit their specific site—not adapted from another location. Further, in accordance with Town of Truckee requirements, any submission of like-designed homes must be separated by a minimum of eight lots.

To the greatest extent possible, also follow the Town of Truckee's policies regarding the use of sustainable building materials and environmentally responsible building procedures. These policies are currently being formulated.

B. BUILDING AREA:

LIMIT THE OVERALL ABOVE-GRADE AREA OF THE STRUCTURE TO BE APPROPRIATELY SCALED TO THE OTHER HOMES IN DONNER CREST. SINGLE STORY FORMS ARE ENCOURAGED AS

A MIX WITH TWO STORY HOMES. KEEP IN MIND THE GOAL IS THAT THE MASSING OF A STRUCTURE BE APPROPRIATE WITH THE OTHER STRUCTURES WITHIN THE NEIGHBORHOOD AS WELL AS PROPORTIONATE TO THE SIZE OF THE LOT. MODESTLY PROPORTIONED HOMES RELATIVE TO THE SCALE OF THE REST OF THE NEIGHBORHOOD WILL ASSIST IN THE CREATION OF A COMMUNITY WITH CONTINUITY.

The minimum building size of a residence is 1,400 square feet of enclosed, habitable, heated living space, exclusive of open porches, garages and workshops. There is no maximum building size.

Enclosed, habitable, heated square footage is considered the gross area, measured from outside of wall to outside of wall.

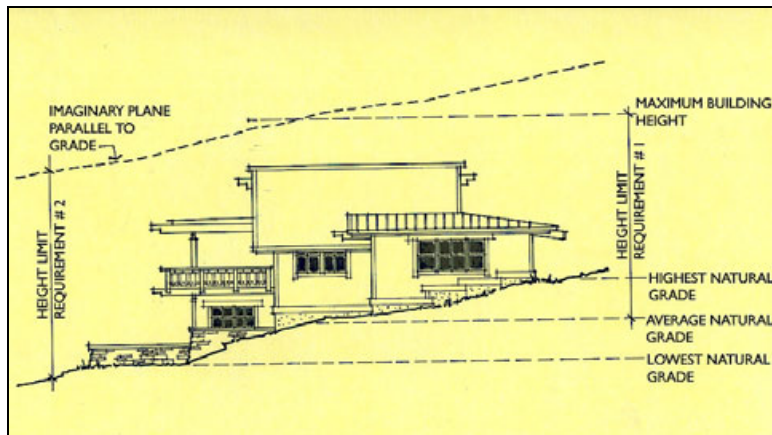
C. IN-LAW UNITS AND HOME OFFICES:

IN-LAW UNITS AND HOME OFFICES WITH SEPARATE ENTRANCES ARE APPROVABLE. REDUCED TRAFFIC AND LESS-INTENSIVE PARKING NEEDS CAN BE ACHIEVED PARTLY BY HOUSING EXTENDED FAMILIES NEARBY AND HAVING THE ABILITY TO WORK AT HOME.

When planning an In-Law Unit or a Home Office, keep in mind the restrictions on parking and the need to comply with the current edition of the Town of Truckee Development Code for such uses.

D. MAXIMUM BUILDING HEIGHT:

LIMIT THE OVERALL BUILDING HEIGHT SUCH THAT IT IS AS LOW AS CAN BE FOR THE GIVEN SQUARE FEET DESIRED. IF PLANNING ON REACHING THE MAXIMUM HEIGHT ALLOWED, DO SO ONLY WITH A PORTION OF THE ROOF.



Residences shall have no more than two and a half stories, as measured by the Town of Truckee standards. The half-story, whether above or below the two-story portion of the residence, shall not exceed 500 square feet of enclosed floor area. Residences constructed on corner lots in DONNER CREST are limited to two stories in height.

No residence constructed on an upslope lot shall have a ridge height higher than thirty feet 30', and on a downslope lot, a ridge height higher than thirty-five feet 35' exclusive of chimney, as calculated by Town of Truckee standards.

E. MINIMIZING OVERALL SYMMETRY:

TOWARD THE GOAL OF AN ARCHITECTURALLY INTERESTING GROUPING OF HOMES, AVOID THE USE OF OVERALL SYMMETRY IN BUILDING FORM.



Avoiding formally-classical symmetry is especially important for the facades that front the street. Consider using low-slope or shed roofs to provide variety to the facades of the homes.

F. AUTHENTIC MATERIALS:

GOOD DESIGN CAN ONLY BE ACHIEVED THROUGH THE USE OF GENUINE BUILDING MATERIALS.

Building materials appearing or attempting to imitate materials other than what they are will not be permitted for use in

DONNER CREST. For example, use of vinyl siding that imitates wood siding, composite roof shingles that mimic wood shakes or slate roofing with faux textures and shadow lines, plywood siding that imitates vertical board siding [such as T1-11] and synthetic stone products are not acceptable and will not be considered.

Traditional materials such as wood siding, composition shingle roofing without manufactured shadow lines and true stone are the preferred materials in these instances.

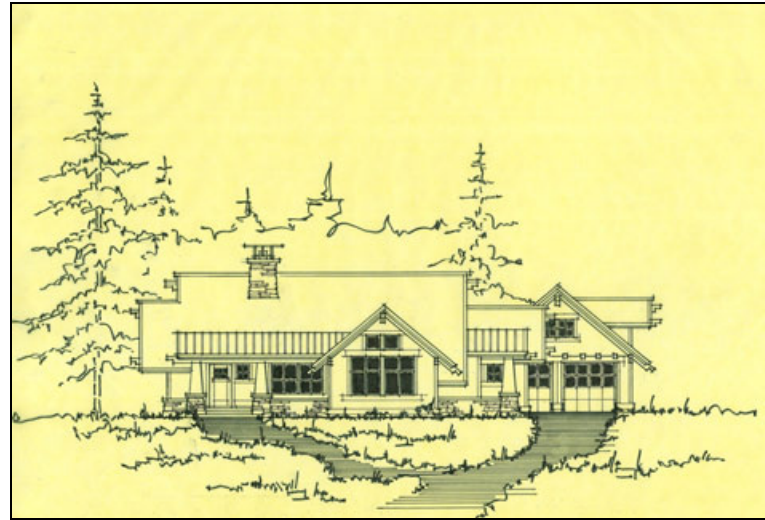
Stucco and board formed concrete can be approved for use in DONNER CREST with limitations. Limiting the dimension of its use in any one direction by panelizing with contrasting trim materials will make the use of this material more likely to be approved.

Also see the requirements for Exterior Finishes in Section IV K for more information on the selection and application of exterior materials.

Additionally, all elevations are required to be of the similar design and product quality as the street side. Propose projects that use the same quality of materials on all sides.

G. FRONT PORCHES:

TO PROMOTE ARCHITECTURALLY INTERESTING FRONT FACADES AND A FRIENDLY NEIGHBORHOOD, COVERED PORCHES ARE REQUIRED ON ALL DONNER CREST HOMES.



Covered front porches of usable size promote a people-oriented community and encourage conversation between neighbors. They provide dimension to front facades of homes, adding to the architectural strength of the overall streetscape.

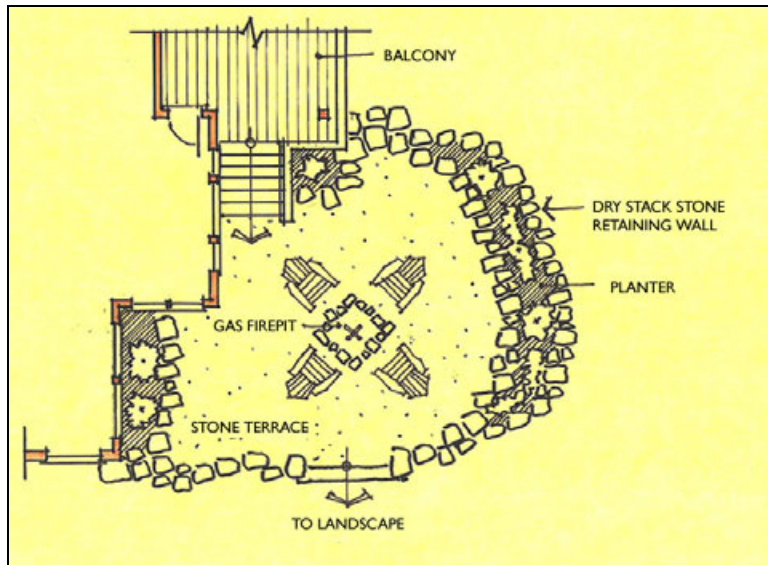
The presence of front porches is desirable in the interest of promoting the presence of a people-oriented streetscape. With front porches designed and integrated with the rest of the home, residents will be encouraged to utilize them and promote conversation with other neighbors who may be walking nearby.

For all homes within DONNER CREST, provide a covered front porch along the street side of the home with minimum dimensions of twelve feet (12') long, paralleling the street frontage of the home, and six feet (6') deep. The porch and its surrounds must be architecturally compatible with the home in terms of color and materials. There are no other restrictions

on the shape or design of the porch other than its minimum size, orientation and architectural compatibility.

Strong design statements are encouraged to promote the visual presence of front doors and front porches. Primary entrance doors, while not required to face the street, are preferred as a focal point to the home rather than garage doors.

Storage of items other than appropriate porch furniture and related accessories is prohibited on porches, decks and terraces in DONNER CREST.



H. OTHER OUTDOOR LIVING SPACES:

AVOID THE USE OF DECK DESIGNS THAT APPEAR AS AN AFTERTHOUGHT AND ARE NOT INTEGRATED INTO THE OVERALL

DESIGN OF THE HOME. INSTEAD, INTEGRATE PORCHES, BALCONIES AND ON-GRADE TERRACES INTO THE DESIGN OF THE HOME WHERE POSSIBLE. BEYOND THE REQUIRED FRONT PORCH COMPONENT, THE INCLUSION OF EXTERIOR LIVING SPACES, COVERED AND UNCOVERED, IS ENCOURAGED IN THE PLANNING OF THE HOMES AT DONNER CREST.

Integrate exterior living spaces into the design of the home by using complementary forms and materials. Integrate these elements as extensions of the indoor living environment as a complement, rather than an appendage to, the rest of the project. A natural and logical flow must be achieved. When planning exterior spaces near grade level, if the site's topography allows, strive for covered porches raised a few steps in the front and on-grade terraces in the rear.

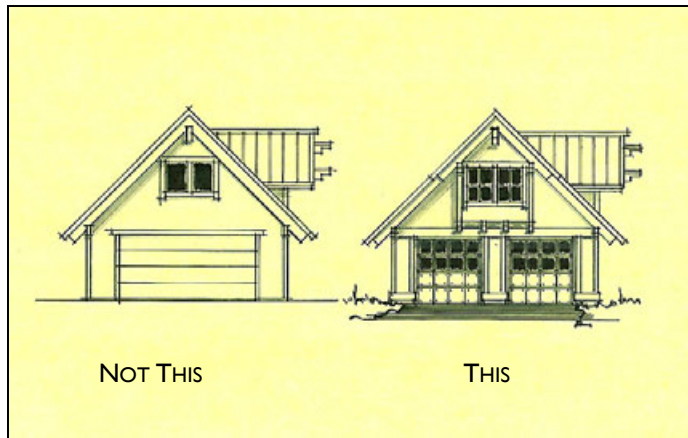
For properties where the grade is steep, stepping a terrace up or down the hill to keep retaining walls to a minimum at any one location is encouraged. Do not propose retaining walls with more than four vertical feet exposed. If the overall stepping of the site requires more retaining height, provide it in incremental walls with four foot maximum visible height with a minimum of two foot horizontal offsets. Be certain these horizontal offsets include an area that can be planted.

If a deck raised above grade cannot be avoided, attempt to design them such that they appear either well grounded or gracefully cantilevered from the main structure of the home. Screening is required for all portions of decks, porches and balconies that are more than 18" above natural or finish grade. Depending upon the actual grade separation, screening examples can include but are not limited to horizontal wood beams, iron work, selected use of rusted corrugated metal (cor-ten), stone, or planted landscaping. Prefabricated lightweight lattice screening panels will not be approved as a screening material.

Upper-level balconies, covered sleeping porches and other traditional means of providing structured outdoor space are also encouraged. The use of these elements can be helpful when managing the overall scale and massing of the building.

1. GARAGES AND GARAGE DOORS:

TO PROMOTE THE CONCEPT OF TRADITIONAL NEIGHBORHOOD DESIGN, MINIMIZE THE VISUAL IMPACT OF GARAGE DOORS ON THE STREET.



Garages may have no more than two doors. See the Automobile Access Section II F for additional information.

Designs with a single garage door for two side-by-side garage stalls will not be approved. Where two stalls are side-by-side, separate the doors by a wall at least two feet wide between them. These single-width doors will help keep the apparent scale of the garage as small as possible.

While understanding the role that personal transportation plays in our lives, the goal of this requirement is to return the streets and front yards to the pedestrian and reduce the overall visual impact of the automobile and its storage on the streetscape and the neighborhood in general.

Depending upon the size and configuration of a residential lot and the planned design of the home thereon, garage doors may face the street or be turned away from the street, or located substantially behind the main portion of the home. As to those plans with garage doors facing the street, stimulate interest in the façade by creating the effect of recessing the doors behind the face of the structure.

Garage doors must also relate to the architectural detailing of the remainder of the house. One way to address this is to include some amount of glazing in the garage doors. The material and color of the doors and the shape of glazing placed in the door panels is equally important. For example, if there are no arched openings on the rest of the home, they should not appear in the design for the garage doors.

Finally, the materials that make up the garage door are critical to the overall impact of the doors to the street. As is apparent from the above, minimizing the possibility of a garage-dominated community is paramount. This goal cannot be achieved by the use of aluminum or glass fiber doors with false wood embossing or incompatible glazing patterns. Doors that appear to operate as traditional carriage-style openings are approvable.

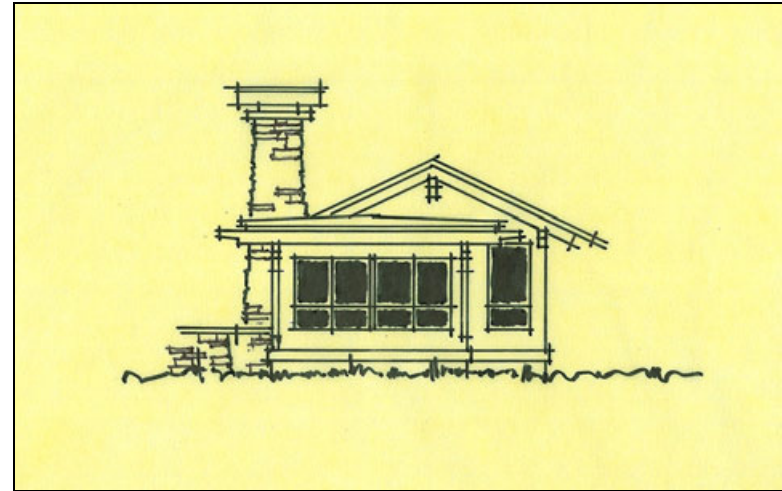
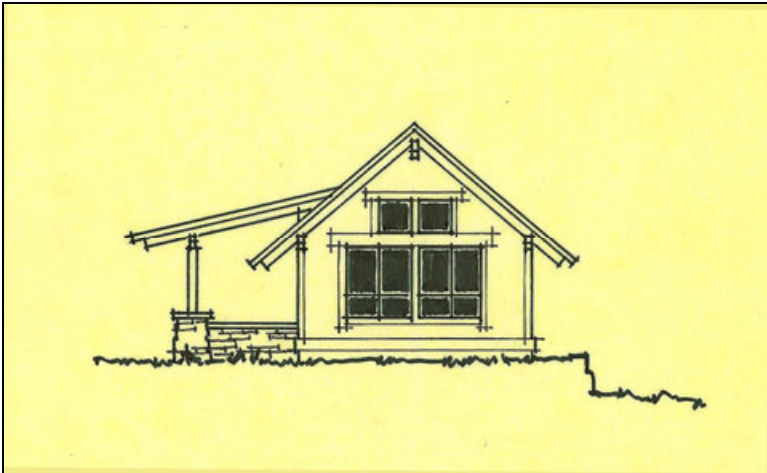
Also reference the requirements for Automobile Access, Parking and Storage in the Site Section II F of this document.

Recreational vehicles such as motor homes, boats and similar items must be stored inside of Garages or in a remote location

outside of DONNER CREST. Storage of these items outside of the Garage is not allowed in DONNER CREST.

J. WINDOWS AND SKYLIGHTS:

USE ONLY WINDOW SHAPES THAT ARE CONSISTENT WITH AN EXPRESSION OF THE ARCHITECTURE OF THE HOME.



Avoid the use of frame shapes that are not consistent with the architectural style of the house. For example, octagonal and Palladian-style windows and those with exaggerated aspect ratios are usually not approvable. If scissor trusses are used to construct the roof, be certain that the slope of the lower chord does not express itself on the exterior by way of the window shape.

Windows with false divisions of glazing where the exterior sides of the glass are without muntins are not approvable. Either use openings that are undivided [single sheets of glass] or use products where the divisions of the glass are covered with a three dimensional muntin bar on the exterior side of the glazing.

Due to the limitations of color choices and the inability to provide traditional glazing patterns via the appearance of divided-lite glass, windows constructed of vinyl and glass fiber are not approved for use. Wood, aluminum-clad or vinyl-clad wood, all aluminum or all steel windows are examples of approvable window types.

Generally, avoid the use of glass block except where placed in masonry walls. Privacy glazing is available by other methods using patterned glass.

Skylights with acrylic glazing of any kind may not be installed in DONNER CREST. Minimize the visual impact of skylights where possible by placing them where not visible from streets or common areas.

K. EXTERIOR FINISHES:

IN THE INTEREST OF CONTINUITY AND HARMONY, USE MATERIALS AND COLORS THAT ARE COMPLEMENTARY WITH THE COLORS FOUND NATURALLY IN THE ENVIRONMENT. WHEN SELECTING COLORS FOR EXTERIOR MATERIALS, SELECT COLORS WITH LOW LIGHT REFLECTANCE VALUES.

Minimize the use of reflective finishes on exterior surfaces. The list includes, but is not limited to window frames, doors, roofs, fences, retaining devices, trim, pipes, and equipment.

Weathering steel and copper, although initially reflective, are allowed in DONNER CREST. Clear anodized and galvanized metals are not approvable as these finishes maintain their reflectivity too long.

Stucco is approvable with limitations. While a house proposed that is predominantly stucco cannot be approved, judicious use of this material is acceptable. Limit the use of stucco on any single wall plane to limited areas where the home does not appear unarticulated or dipped in the material. Use stucco for wall planes only, do not use this material for trim. Color selections for stucco surfaces should range to the darker end of the spectrum so as not to be overly reflective.

When using composition shingle roofs, products which attempt to mimic other materials such as slate and wood shakes by the use of artificial shadow lines are not acceptable. When using painted metal roofing, use products which utilize low gloss paints with minimum 20-year warranty for the paint finish. Roof coverings are required to utilize Class A-rated materials.

The list of approved colors for exterior materials is available from the Design Review Committee [DRC]. These colors will be modified as necessary by the Committee. Should a color you wish to use not be included in the list of approved colors in Section VI, consideration will be made on a case-by-case basis.

While the use of board-formed concrete and concrete block are approvable, the Design Review Committee will require these materials where exposed to view to complement the remainder of the architecture.

Also see the requirements for Authentic Materials in Section IV F for additional information.

L. EXTERIOR LIGHTING:

IN THE INTEREST OF MAINTAINING THE CHARACTER OF DONNER CREST, EXTERIOR LIGHTING MUST NOT CAUSE LIGHT POLLUTION OR LIGHT TRESPASS.

Light fixtures should direct their light downward in such a way so as not to create light pollution [lighting the sky] or light trespass [light which crosses a property line--front, side or rear] onto neighboring properties, common areas or rights-of-way. A method of determining if lighting is trespassing is to

stand on the property line. If a shadow is cast across the property line, then light trespass is present.

Also be cognizant of and make attempts to reduce the lighting spill possible from garage door glazing.

Vapor lights [mercury or sodium], metal halide, halogen [except low-voltage landscape lighting] or other high-intensity lighting will not be approved for use in DONNER CREST.

Security lighting is allowed as long as it is screened and is triggered by movement or heat and stays on for no more than five minutes after being triggered. Activators must be positioned so they are not triggered by passing automobile traffic.

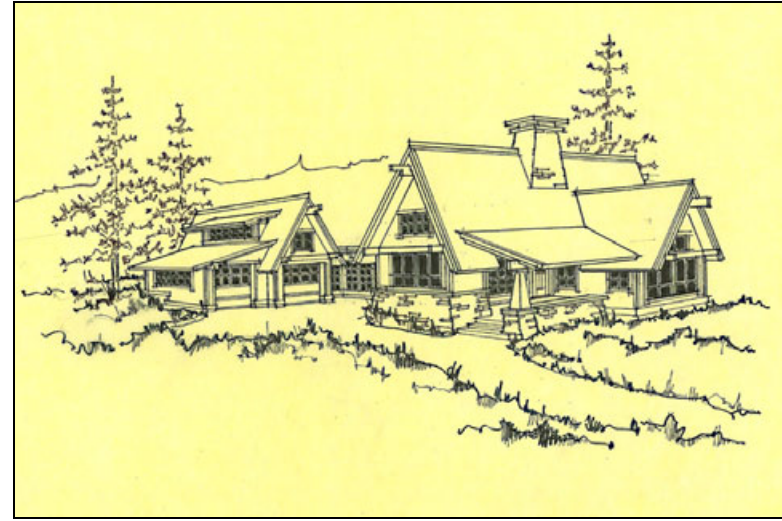
Holiday lighting is allowed on the exterior of structures in DONNER CREST only between October 31 and January 15 at which time it must be fully removed. Lighting may not blink or flash.

Landscape lighting for safety and ambiance at pathways and outdoor sitting areas is allowed. Up-lighting and highly reflective accent lighting will not be accepted. Landscape lighting must be subtle, shielded and point downwards. Light sources shall be concealed. Lighting affixed to trees is not permitted.

M. BUILDING SHAPE AND ROOF FORMS:

THE OVERALL QUALITY OF A STREETScape IS HIGHLY DEPENDENT ON THE RELATIVE MASSING BETWEEN UPPER AND LOWER LEVELS OF EACH HOME ON THE STREET AND THE

IMPORTANCE GIVEN TO THAT MASSING BY WAY OF THE ROOF SHAPE.



Make every attempt to avoid a two-story building design with identical dimensions on both levels.

Simple but varied roof forms in keeping with the vernacular of the area are preferred over complex forms.

Consider generous roof overhangs to protect the structure from the elements of our harsh winter weather and intense high-altitude sun. Generally, a minimum of 18" of overhang on the rake end of roofs and a minimum of 30" of overhang on eave ends of a home's roof will be required.

N. NOISE REDUCTION INSIDE HOMES:

WHEN DESIGNING THE EXTERIOR ENVELOPE OF THE STRUCTURE, KEEP IN MIND CONSTRUCTION METHODS THAT WILL MINIMIZE THE IMPACT OF THE NOISE GENERATED FROM OUTSIDE SOURCES

For example, consider construction techniques such as thorough caulking of joints between materials, additional thermal insulation and triple glazed windows. These methods can further isolate the intrusion of sound from outside of the house.

O. FIRE PLACES:

CONTRIBUTE TO INCREASED AIR QUALITY IN THE TRUCKEE REGION BY REDUCING OR ELIMINATING THE USE OF WOOD-BURNING DEVICES. WHERE IT IS DESIRED TO USE WOOD-BURNING STOVES OR FIRE PLACES, USE ONLY THOSE THAT MEET THE EMISSION RESTRICTIONS OF THE TOWN OF TRUCKEE.

When wood-burning fire places or woodstoves are desired for projects in DONNER CREST, use only devices with an EPA emissions rating acceptable with the Town of Truckee. Currently all devices must be EPA Phase-II certified.

There is a limit of a total of 7.5 grams per hour of particulates that may be released from wood burning devices on any Lot in DONNER CREST. When selecting products for burning wood, be certain the combination of all devices does not exceed this total.

Additional gas-fired fireplaces may be used without limitations.

All fireplaces, whether they are gas-fired or wood burning, shall be plumbed with natural gas.

Outdoor fire places and fire pits are prohibited unless they utilize natural gas as their fuel source.

P. SOLAR ENERGY COLLECTORS, SATELLITE DISHES & SECURITY ALARMS:

ALL DONNER CREST PROPERTIES WILL BE PROVIDED WITH CABLE TELEVISION SERVICE, THEREFORE EXTERIOR-MOUNTED SATELLITE DISHES AND ANTENNAS ARE DISCOURAGED. FOR THOSE OWNERS WISHING TO AUGMENT THEIR ENERGY SUPPLY, TELEVISION OR RADIO SERVICE, ATTEMPT TO REDUCE THE VISUAL IMPACT OF HARDWARE INSTALLED ON THE EXTERIOR OF YOUR HOME.

Solar Energy Collectors – Locate solar energy collectors in such a way as they will blend with the remainder of the structure housing the collectors. Placement location, style and colors of the collectors must be approved by the Design Review Committee in advance of installation. Reasonable restrictions that do not significantly increase the cost of the system or significantly decrease its operating efficiency may be imposed.

Direct Broadcast Satellite, Broadband Radio Service and Television Broadcast Antennas – Rules regarding the installation, maintenance or use of these facilities are governed by the Federal Communications Commission (Rule 47 C.F.R. Section 1.4000). At such time as the preferred

location for placement of this equipment has been identified by the Owner, the Design Review Committee shall be notified as to the location and type of equipment to be installed. When a satellite dish “antenna” is desired, the dimension of the dish may not exceed one meter (39.37”) in diameter. Where possible, place the antenna in a location not visible from the street or neighboring lot, if placement does not prevent reception of an acceptable quality signal or impose unreasonable expense. If possible, the color of the antenna should be similar to the background against which it is mounted. Painting thereof may be required, provided it will not interfere with reception or impose unreasonable costs. Although landscape screening of the antenna is not required where it is visible from the street, give consideration to providing such a screen if not cost prohibitive.

Security Alarm Boxes - Additionally, when providing security alarm boxes on the exterior of the home, they must be finished in a material to blend with the remainder of the home’s adjacent materials or screened from being able to be seen from off of the property. One way to accomplish this is to enclose the metal box in a covering to complement the exterior siding of the home. Be certain to allow access as necessary and leave an opening for the horn as required.

Utility Boxes – The location of electric and gas meters are governed by the responsible utility company. Where possible, locate the electrical utility meter box in a location not visible from the street and enclose the meter, as permitted, in a covering to complement the exterior siding color of the home, allowing access as necessary and such openings for reading the meter. Gas meters require a utility-approved covering for protection. As permitted, the color of the covering should complement the exterior color of the home.

Q. EXTERIOR STORAGE STRUCTURES:

FREE-STANDING STORAGE STRUCTURES ARE PERMITTED IF THEY ARE DESIGNED WITH THE SAME INTENT AND CONSTRUCTED WITH MATERIALS COMPLEMENTARY TO THOSE FOUND ON THE MAIN STRUCTURE.

Dedicated storage buildings and shops may not exceed ten percent of the area of the main house. Such storage buildings and shops will be included in the calculation for maximum site coverage in Section II-E, in accordance with Town of Truckee standards.

Also see the requirements for Exterior Storage in the Site Section II M.

R. RECREATION STRUCTURES:

TENNIS COURTS OR OTHER OUTDOOR SPORTS COURTS WILL NOT BE APPROVED IN DONNER CREST DUE TO THE LARGE AREAS OF TREE REMOVAL AND LOT COVERAGE REQUIRED FOR SUCH ACTIVITIES.

Also see the requirements for Spas in this Section IV-V.

Play structures, trampolines, basketball hoops, swing sets, slides and similar items are allowed in the rear of the Lot only and shall not be visible from the street. Play structures must not exceed ten feet in height.

Where possible, use colors and materials that blend with the surrounding natural environment. The placement, materials

and colors are to be submitted to and approved by the Design Review Committee prior to installation.

S. FLAGPOLES AND FLAGS:

KEEP FLAG POLES AND FLAGS MODEST SO AS NOT TO DETRACT FROM THE SCALE AND RESIDENTIAL NATURE OF DONNER CREST.

Flagpoles not exceeding sixteen feet in height may be erected on a lot neither closer than ten feet behind the front lot line nor in any public easement area. The finish shall be dark with a low-reflectance coating.

Limit the size of flags to no more than six feet in any direction.

T. TRASH CONTAINER STORAGE:

SUCCESSFUL CONTROL OF ANIMALS [INCLUDING BEARS AND RODENTS] AS WELL AS THE VISUAL CONTAMINATION THAT TRASH CONTAINERS CREATE REQUIRES A BEAR-RESISTANT STORAGE AREA FOR GARBAGE CANS ATTACHED TO OR ADJACENT TO THE HOME THAT CAN BE ACCESSED FROM THE DRIVEWAY.

An enclosed storage area must be provided for every home for the purpose of storing two 30-gallon trash containers in a secure and out-of-site location. Ideally, the trash enclosure should be designed so as to be attached to or integrated into the primary structure. A freestanding trash enclosure structure may be permitted provided it meets bear-resistant structural

requirements, is architecturally compatible with the main residence, is located outside of all utility easements, and is as near to the main structure as possible.

The trash enclosure storage area is to be designed to include exterior materials that are substantially identical in appearance with and colors of the primary structure on the lot. Use of similar roofing materials and stone veneers are preferred. Where no stone or similar veneer is included on the primary structure, the exterior materials used on the primary structure may be applied to the exterior of a free standing trash enclosure. However, the structure, entry door and hardware of the enclosure must be constructed of “bear-resistant” materials. Be advised that wood siding applied to the bear-resistant structure may be subject to damage, repair or replacement caused by animals attempting to penetrate the structure.

Paved access must be provided to the trash storage enclosure from the driveway so that it can be easily accessed by the disposal company—do not provide an access under an area that could receive snow unloading from a roof above. Provide a secure door with bear-resistant [flush] hardware. Be certain that the interior door of a storage area, if provided and if attached to the primary structure, can be locked for security reasons.

U. POWER GENERATORS:

BE CONSIDERATE OF YOUR NEIGHBORS WHEN OPERATING EMERGENCY POWER GENERATORS.

The use of portable generators as a backup source of power is allowed within DONNER CREST. The size of such generators

is limited to that necessary to run a minimum amount of equipment needed to sustain comfort through a period of a power outage.

V. SPAS:

KEEP THE VISUAL IMPACT OF SPAS TO A MINIMUM WHEN VIEWED FROM THE STREET, NEIGHBORS' PROPERTIES AND COMMON AREAS.

The use of exterior jetted tubs or spas are allowed within DONNER CREST as long as their placement and the materials which surround such items are complementary to the home's design. The placement, materials and colors are to be submitted to and approved by the Design Review Committee prior to installation.

At a minimum these items must be screened from view to a point where the tub enclosure and the tub's cover is not visible from any street. When designing the screening device, integrate the design and construct with building materials that complement the remainder of the architectural elements found on site. Screening may also be achieved through the use of landscape planting. The size and type of plant materials must provide mature screening of the spa and must be approved by the Design Review Committee prior to installation.

W. YARD ART:

IN THE INTEREST OF KEEPING THE NATURAL LANDSCAPE AT DONNER CREST THE PREDOMINANT VISUAL IMAGE, LIMIT THE

VISUAL IMPACT OF SCULPTURES, BIRDBATHS, FOUNTAINS AND OTHER YARD ART.

Limit all items listed above and all similar items to 30" in height or insure that they are not visible from any common area, streets or neighboring properties. Additionally, all items, whether above or below the 30" height restriction shall be made of a material and finished in such a way as to not provide strong visual contrasts with the surrounding environment. Generally keeping these items dark in color will reduce the visual contrast.

X. WINDOW COVERINGS:

IN THE INTEREST OF MINIMIZING STARK CONTRASTS BETWEEN WINDOWS AND THE SURROUNDING SIDING, WINDOW COVERINGS THAT CAN BE SEEN OFFSITE SHOULD NOT BE OF A COLOR THAT STONGLY CONTRASTS WITH THE MATERIALS FOUND ON THE REST OF THE EXTERIOR OF THE HOME.

Use materials with colors that complement the hue of the rest of the siding materials in lieu of providing strong contrasts.

V. BUILDING

Below are the regulations concerning building in DONNER CREST. Be familiar and abide by these requirements as well as all additional restrictions contained in the CC&Rs.

1. All work must be performed by Contractors properly licensed under the laws of the State of California.
2. No work may be performed in DONNER CREST, including removal of live trees, until all requirements of the Design Review process have been successfully completed and authorization to begin construction has been provided by the Town of Truckee.
3. All work must comply with the requirements of the Town of Truckee, all applicable agencies and utilities.
4. Noise-producing construction activities are permitted from 7:00 a.m. to the earlier of 7:00 p.m. or dusk on Monday through Friday and from 9:00 a.m. to the earlier of 7:00 p.m. or dusk on Saturday.
5. Noise-producing construction activities are prohibited on Sunday or legal holidays.
6. Construction workers' dogs must be restrained and may not run loose or bark. Contractors' dogs that are considered a nuisance will not be allowed to return to DONNER CREST.
7. Recorded music and radio noise must be confined to the project site and not intrude on adjoining properties or streets.
8. Work must not stop for more than one month without approval of the Design Review Committee; except for stoppages due to natural causes beyond the Owner's control.
9. Work shall commence within nine (9) months from the date of project approval by the Design Review Committee, and must be completed within twenty-four (24) months following commencement of work. Under certain circumstances, an extension of the commencement date may be granted by the Design Review Committee.
10. Open burning, including in barrels, is prohibited within DONNER CREST.
11. Discharge of any waste materials is prohibited in DONNER CREST.
12. No overnight parking of Contractor's vehicles, except trailers, is allowed. One trailer may be parked on the project site. Vehicles must be parked in the location of the proposed driveway or on the street only. No parking is allowed in the front or side yard setbacks beyond the proposed driveway location.
13. Minimize the impact of construction activities and the related parking required by such on occupied lots near the project site. Parking for contractors, subcontractors and vendors will be allowed only on the same side of the street that the project is on. Do not block neighbors' driveways.
14. If at any time during construction any archeological artifacts, paleontological resources or non-native rock is uncovered, work shall stop within 200 feet of the find and shall not proceed until the site has been cleared to resume work by the Town of Truckee or its designee.

15. No rubbish, trash, garbage or construction debris shall be allowed to accumulate on any lot. All such rubbish, etc. that is accumulated by an Owner or Contractor outside the walls of a project under construction shall be temporarily stored entirely within an appropriate, covered disposal container located within the approved Construction Zone or materials storage area. The disposal container shall be emptied (when full) or if the volume of material in the container exceeds its capacity with the cover fully closed.
16. Owner and Owner's Contractor shall clean and sweep, on a daily basis, all adjacent improvements, including but not limited to street, curbs, and gutters, any dirt, mud, rock or other material debris caused by or resulting from Owner's construction activities.

VI. APPENDIX A – PRE-APPROVED LIST OF MATERIALS AND COLORS

The use of the products listed below will likely result in approval. Use of products beyond those listed below can be approved if the appearance is in general conformance with these products. Consider the following as a general guide. Always important in the review and approval process is whether the materials are complementary to the surrounding hues found in the existing landscape and how each material and color works with other materials and colors found on the structure[s].

If in doubt as to whether the light reflectance value of particular product will be too light, default to the darker color. In Donner Crest's setting, the darker hues will complement the existing landscape better than those with lighter surfaces.

HORIZONTAL SURFACES:

H-I. CONCRETE PAVERS AND BRICK:

Use products with colors with darker colors that blend well with the surrounding hues. Use simple, rectilinear shapes and coursing techniques such as stack bond, running bond, basket weave, etc. Avoid visually loud shapes, colors, contrasts and patterns.

1. ACKER-STONE

- a. Antique Kobble
- b. Appian Stone

- c. Castle Stone
- d. Combo Stone
- e. Euro Kobble
- f. Holland I, Holland II
- g. Kobble Stone
- h. Mega Combo Stone
- i. Monterey Kobble
- j. Spectrum
- k. Uni-Decor

2. CAL STONE

- a. Quarry Stone
- b. Classic Cobble
- c. Mission
- d. Symmetry Squares
- e. River Rock
- f. Holland
- g. Athens

3. UNISTONE

- a. Appius
- b. Arrowhead Square
- c. Brickface
- d. City Square
- e. Classico
- f. Holland-Stone
- g. Symmetry
- h. Turfstone

- i. Uni-Décor
- j. Uni Eco-Stone

4. INTERSTATE BRICK

- a. Baja Brown
- b. Bronzestone
- c. Coppertone
- d. Mountain Red
- e. Iron Stone

5. HC MUDDOX

- a. Old Town Red
- b. Iron Mountain
- c. Carob
- d. Ebony
- e. Sierra Slate
- f. Burnt Rose

6. MCNEAR

- a. Charcoal Grey
- b. Charcoal/Red/Grey

H-II. CONCRETE STAINS:

Use products with colors that complement the other colors surrounding the surface being stained. Typically the darker colors will be approved and lighter colors with higher light-reflectance values may not be approved due to the potential for uncomfortable glare conditions. Keep in mind the glare likely to result when using these products in sunny locations. Darker colors will mitigate the impact of this glare on your property as well as for your neighbors.

1. SCOFIELD - LITHOCHROME CHEMSTAIN

- a. Antique Amber
- b. Padre Brown
- c. Faded Terracotta
- d. Dark Walnut

- e. Black
- f. Dark Moss Green
- g. Old Hickory

2. KEMIKO - STONE TONE STAIN

- a. Cola
- b. Umber
- c. Tan
- d. Black
- e. English Red

3. DAVIS COLORS - CONCRETE PALETTE

- a. Pewter

H-III. STONE:

1. SIERRA ANTIQUE
2. SLATE
3. WEATHERED GRANITE
4. SIERRA BLUE RANDOM
5. TRUCKEE RUSTIC
6. AUTUMN FLAME
7. ROCKY MOUNTAIN
8. ROCK GARDEN

H-IV. EXPOSED AGGREGATE CONCRETE:

The use of exposed aggregate concrete surfaces is approved for use. In the interest of reducing random cracks, consider limiting the area of slab that is provided by using divider strips.

H-V. CRUSHED AGGREGATE:

Use of dark-colored decomposed granite stone will be approved for walkways and patios but cannot be approved for driveway surfaces.

VERTICAL SURFACES:

V-I. CONCRETE STAINS:

Reference H-II above.

V-II. WOOD STAINS:

When changing colors on a home's siding, always do so at an inside corner.

- 1. SUPERDECK DUCKBACK**
 - a. Canyon Brown
 - b. Natural
 - c. Valley
 - d. Coastal Gray
 - e. Red Cedar
 - f. Cedar
- 2. OLYMPIC STAIN**
 - a. Cedar 708, 709, 711 and 910
 - b. Redwood 730, 707 and 716
 - c. Natural Look Protector Plus
- 3. CABOT'S AUSTRALIAN TIMBER OIL [FOR HARDWOOD DECKING]**
 - a. Honey Teak, Mahogany Flame
- 4. CABOT**
 - a. Burnt Hickory
- 5. PITTSBURGH SUN PROOF**
 - a. Caramel
 - b. Driftwood Grey
 - c. Coffee

V-III. PAINTS AND SOLID-BODY STAINS

1. Generic range of browns, greens, and greys.
2. Light reflectance values of between 15 and 40.

V-IV. METALS:

1. Painted Steel – Finished in dark colors with 20-year guaranteed finishes such as Kynar in a shade of one of the following colors:
 - a. Dark Brown
 - b. Dark Grey
 - c. Dark Green
 - d. Dark Red
2. Weathering Steel [CorTen]
3. Copper
4. Slate [imitation slate not allowed]
5. Dark Zinc
6. Blued Steel

V-V. CEMENT PLASTER:

Limited use of highly textured cement plaster or stucco is approvable provided its light reflectance value is between 15 and 35. Earth and landform-based colors will be required for cement plaster. Dark greens, dark browns and dark grey colors can be approved. The use of light-colored stucco will not be approved due to the visual impact on neighbors and common areas.

V-VI. WINDOWS, DOORS AND SKYLIGHTS:

Use of wood windows is preferred. These can be clad or unclad. Use of aluminum windows is allowed if constructed with substantial cross-sections. Windows with vinyl exposed to the exterior are approvable in colors other than white and almond. Windows with white or almond colored exteriors are

not approvable given their strong contrasts with approvable siding materials. Choose the window color to give some, but not extreme contrasts with the surrounding siding and trim materials.

1. ANDERSEN

- a. Sandstone
- b. Terratone
- c. Forest Green

2. LOEWEN

- a. Clay
- b. Sandalwood
- c. Sage Green
- d. Hartford
- e. Cranberry
- f. Chestnut Brown
- g. Tuscany
- h. Island Hunter
- i. River Rouge Red
- j. Spice Nut
- k. Olive Taupe
- l. Terratone
- m. Charcoal
- n. Black

3. EAGLE

- a. Sierra Bronze
- b. Cinnamon Toast
- c. Slate
- d. Forest Green
- e. Clay Canyon
- f. Carmel
- g. Bourbon
- h. Hot Chocolate
- i. Acorn
- j. Cappuccino

- k. Coffee Bean
- l. Chocolate Chip
- m. Mallard Green
- n. Moss
- o. Stormy Blue
- p. Mystic Gray
- q. Dark Ash
- r. Black
- s. Dark Bronze

4. SIERRA PACIFIC

- a. Evergreen
- b. Slate Blue
- c. Gull Gray
- d. Harvest Cranberry
- e. Brown
- f. Bronze
- g. Black
- h. Moss
- i. Weathered Brown
- j. Clay
- k. Green
- l. Regal Brown

5. VELUX

- a. Flat glazed with dark, complementary color frame

6. MARVIN

- a. Wineberry

7. MILGARD

- a. Bronze
- b. Black

ROOFING SURFACES:

R-I. COMPOSITION SHINGLES

Use roofing shingles in the medium range of darkness, neither too light nor too dark. Additionally, do not use high-definition shingles or shingles with wide varieties of color which attempt to look like other materials such as slate or wood shingles.

Much of this approval process arises out of the colors of the backdrop [trees and land] to the home, the amount of tree cover [shade] and the colors of the remainder of the materials on the home. The goal is moderate, but not striking, contrast between roof and siding.

1. TAMKO

- a. Weathered Wood
- b. Aged Wood
- c. Rustic Redwood
- d. Natural Timber
- e. Black Walnut

2. ELK

- a. Weathered Sage
- b. Balsam Forest
- c. Barkwood
- d. Weatheredwood
- e. Hickory
- f. Pewter Grey
- g. Sablewood

R-II. METAL ROOFING

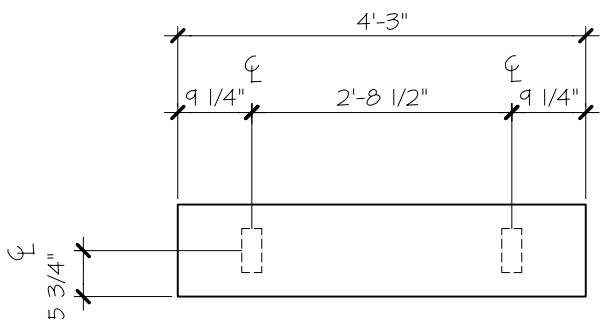
Reference Section V-IV above.

R-III. CAP SHEET AND BALLASTED ROOFING

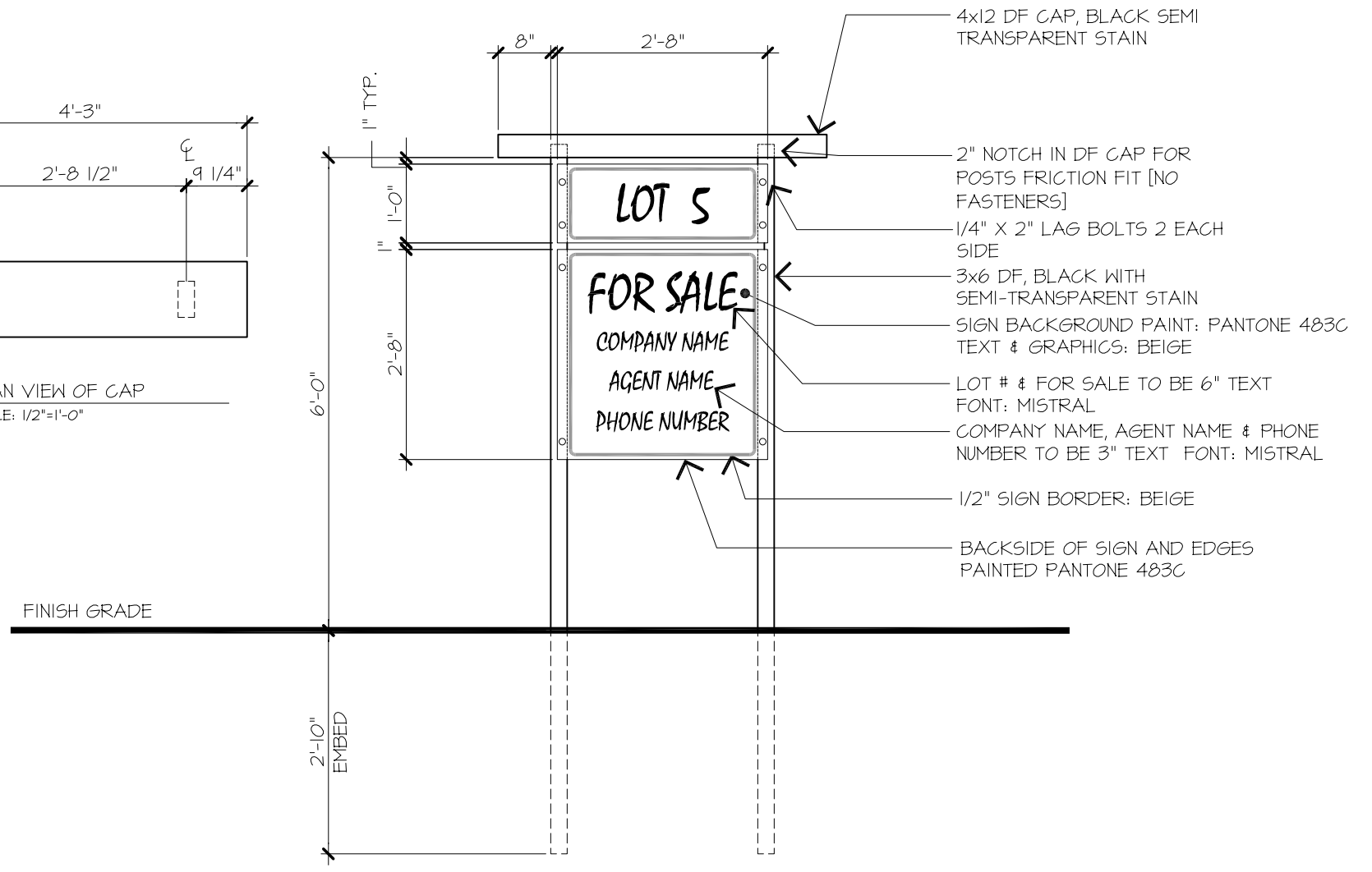
Using built-up roofing products for very low slope roofs is approved as long as the finish color is dark enough so as not to provide a high degree of contrast or light reflectance when viewed from roadways, common areas or neighboring properties.

VII. APPENDIX B – SIGNAGE REQUIREMENTS

SEE NEXT PAGE



(B) PLAN VIEW OF CAP
SCALE: 1/2"=1'-0"



(A) ELEVATION
SCALE: 1/2"=1'-0"

4x12 DF CAP, BLACK SEMI-TRANSPARENT STAIN

2" NOTCH IN DF CAP FOR POSTS FRICTION FIT [NO FASTENERS]

1/4" X 2" LAG BOLTS 2 EACH SIDE

3x6 DF, BLACK WITH SEMI-TRANSPARENT STAIN

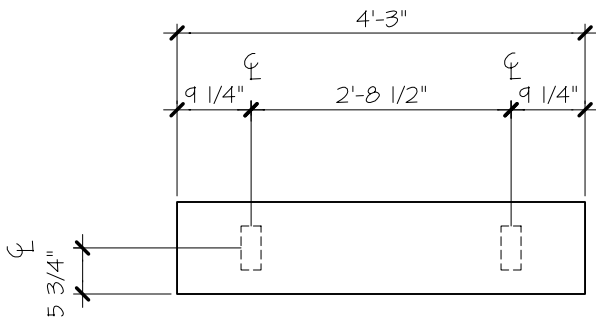
SIGN BACKGROUND PAINT: PANTONE 483C
TEXT & GRAPHICS: BEIGE

LOT # & FOR SALE TO BE 6" TEXT
FONT: MISTRAL

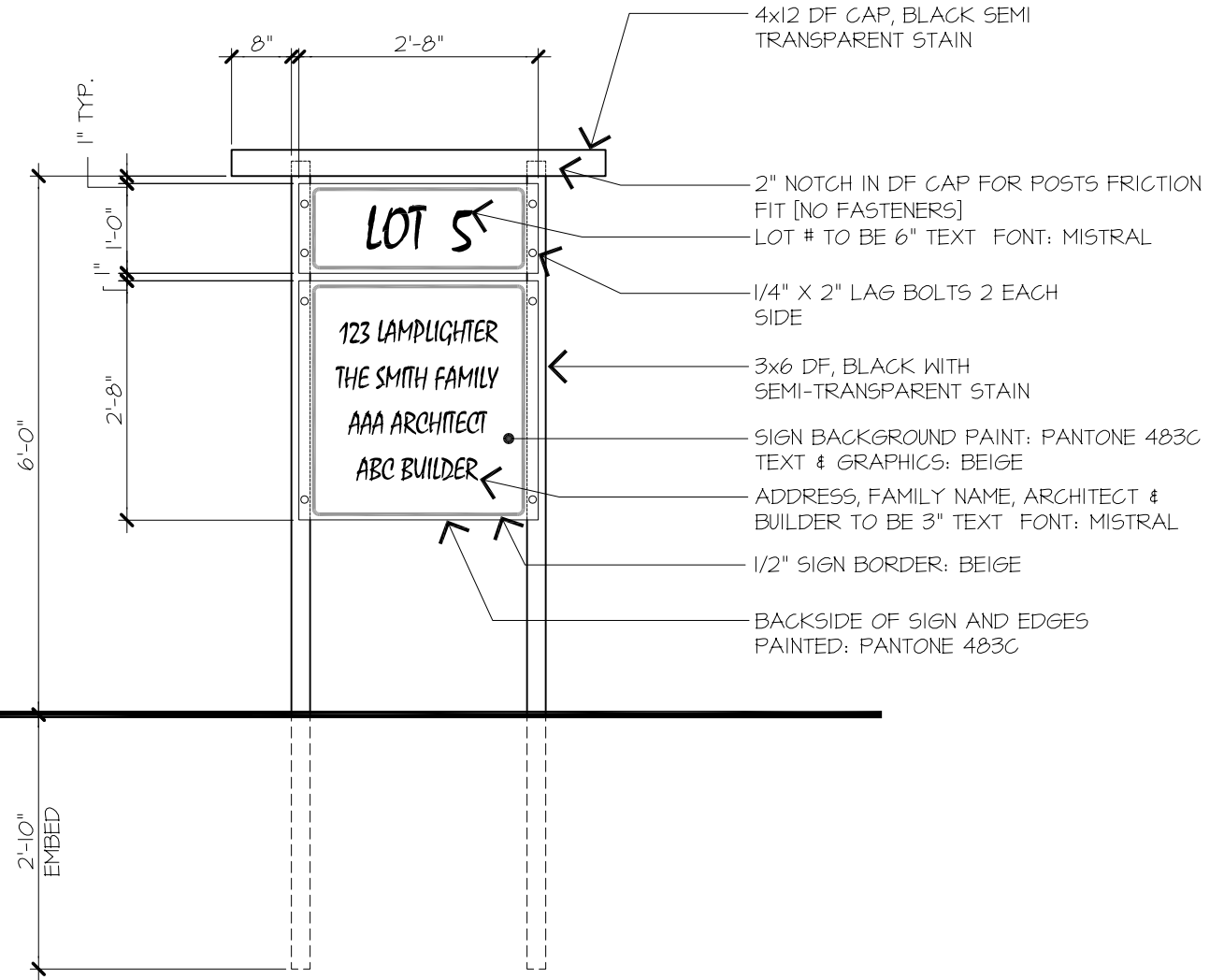
COMPANY NAME, AGENT NAME & PHONE NUMBER TO BE 3" TEXT
FONT: MISTRAL

1/2" SIGN BORDER: BEIGE

BACKSIDE OF SIGN AND EDGES PAINTED PANTONE 483C



(B) PLAN VIEW OF CAP
SCALE: 1/2"=1'-0"



(A) ELEVATION
SCALE: 1/2"=1'-0"

SIGN #2

03 MAY 2006

VIII. APPENDIX C – IMPROVEMENT APPROVAL APPLICATION

SEE NEXT PAGE

**DONNER CREST DESIGN REVIEW COMMITTEE
IMPROVEMENT APPROVAL APPLICATION**

LOT NO. _____ SITE ADDRESS _____

OWNER (APPLICANT) _____

ADDRESS _____ CITY _____ ZIP _____

DAYTIME PHONE _____ CELL _____ FAX _____

CONTRACTOR _____ LIC NO. _____ PHONE _____

APPLICATION IS FOR:

- | | | |
|----------------------------------|--|--|
| <input type="checkbox"/> Home | <input type="checkbox"/> In-Law Quarters | <input type="checkbox"/> Free Standing Home Office |
| <input type="checkbox"/> Storage | <input type="checkbox"/> Other Ancillary Buildings | <input type="checkbox"/> Landscaping |

1. Preliminary Review/Initial Review:

Submit Two (2) sets (24" x 36") as follows:

- | | | |
|--|---|--|
| <input type="checkbox"/> Site Plan | <input type="checkbox"/> Grading Plan | <input type="checkbox"/> Exterior Elevations (all sides) |
| <input type="checkbox"/> Floor Plan(s) | <input type="checkbox"/> Landscape Plan w/Plant List, Hardscape and Drainage Plan, Lighting Plan and Fencing Plan (if any) | |

Final Review (with changes/corrections from Initial Review)

Submit Two (2) sets and one (1) reduced set (11" x 17") as follows:

- | | | |
|--|---------------------------------------|--|
| <input type="checkbox"/> Site Plan | <input type="checkbox"/> Grading Plan | <input type="checkbox"/> Exterior Elevations (all sides) |
| <input type="checkbox"/> Foundation Plan | <input type="checkbox"/> Roof Plan | <input type="checkbox"/> Floor Plan(s) |
| <input type="checkbox"/> Landscape Plan w/Plant List, Hardscape and Drainage Plan, Lighting Plan and Fencing Plan (if any) | | |

Colored Rendering of Elevation(s) Facing Street Frontage. NOTE: Use Colors and Materials Proposed as listed below

2. Complete from Submitted Plans:

SETBACKS: Front _____ ft; Rear _____ ft; Side - left _____ ft; right _____ ft

STRUCTURE SIZE: Habitable _____ s.f.; Garage _____ s.f.; Other (as listed above) _____ s.f.

STRUCTURE HEIGHT: _____ feet

LOT COVERAGE: Structural _____ s.f.; Paved driveway area: _____ s.f.;

Patio(s) _____ s.f.; Decks, porches, stairs: _____ s.f.

Total Proposed Lot Coverage _____ s.f. = _____ % of lot area

3. **Exterior Materials and Colors (Submit Brochures/Samples):**

- Walls: Material(s) _____ Manufacturer _____
Color Name(s) _____ Number(s) _____
- Trim: Material(s) _____ Manufacturer _____
Color Name(s) _____ Number(s) _____
- Veneer: Material(s) _____ Manufacturer _____
Color Name(s) _____ Number(s) _____
- Roof: Material(s) _____ Manufacturer _____
Color Name(s) _____ Number(s) _____
- Windows: Frame Material _____ Manufacturer _____
Color Name _____ Number _____
- Garage Doors: Material _____ Manufacturer _____
Color Name _____ Number _____
- Front Door: Material _____ Manufacturer _____
Color Name _____ Number _____
- Ext. Light Fixture(s) Manufacturer _____
Style Name: _____ Number _____
- Ext. Post and Railing(s) Materials _____
Color Name(s): _____

4. **General Conditions:**

- A. Owner agrees to comply with all applicable governmental agencies, laws, ordinances, codes, regulations, Donner Crest project and map conditions, Donner Crest CC&Rs and Design Guidelines.
- B. Owner and Owner's contractor agrees to abide by the specific construction requirements set forth in Section 5.07 of the CC&Rs to the extent such requirements are applicable to the requested improvement project.
- C. Owner agrees to comply with both temporary and permanent Best Management Practices involving on site soil and drainage retention.
- D. Owner agrees to comply with the Fire Suppression Management Plan for Donner Crest, set forth in Exhibit B of the CC&Rs.
- E. Owner agrees to submit Owner's plans to the Design Review Committee and obtain approval of the plans from the Committee prior to submittal of the plans to the Town of Truckee for permitting.
- F. Owner agrees to pay to the Association a plan review and inspection fee of \$500 due with this application and construction deposit of \$2,500 as set forth in Section 5.08 of the CC&Rs prior to release of approved plans to the Owner by the Committee.

The undersigned Owner (Applicant) requests approval of the improvements in accordance with submitted information, plans, materials and colors and agrees to comply with the General Conditions set forth above, and any conditions of approval hereinafter set forth.

Dated: _____ Owner (Applicant) _____

FOR COMMITTEE USE ONLY

Application and plans, received on _____ by: _____

Additional information requested on _____; received on _____

Revised plans for Final Review received on _____ by _____

Plan review and site inspection fee of \$ 500.00, received on _____

by: _____; Forwarded to Association on _____

Construction Deposit of \$ 2,500.00 received on _____

by: _____; Forwarded to Association on _____

Date Deposit approved for return _____; Amount returned: _____

Reason for reduction (if any) _____

COMMITTEE ACTION

The Design Review Committee, upon review of this Application and plans on _____,

Takes the following action (s):

_____ APPROVAL, pursuant to the finding set forth in Section 5.06 (a) to (e) inclusive of the CC&Rs.

_____ CONDITIONAL APPROVAL, pursuant to the findings set forth in Section 5.06 (a) to (e) inclusive of the CC&Rs,
but subject the following: _____

_____ DISAPPROVAL, for the following reasons: _____

Member

Member

Member

IX. APPENDIX D – CONSTRUCTION DEPOSIT PROCEDURES

SEE NEXT PAGE

**DONNER CREST
CONSTRUCTION DEPOSIT PROCEDURES**

All plan approval applications submitted to the Donner Crest Design Review Committee requires the submittal of a refundable deposit ("Construction Deposit"). The Construction Deposit shall be in the amount of Two Thousand five Hundred Dollars (\$2,500.00) and shall be held, administered and distributed by the Association in accordance with Section 5.08(b) of the Declaration of CC&Rs and the procedures set forth below.

DEFINITIONS:

- a. **ADJACENT IMPROVEMENTS:** The shoulders curbs, gutters, paving, drainage, utility stubs, common area improvements, or other site improvements adjacent to the Lot, whether publicly or privately owned.
- b. **ASSOCIATION:** The Donner Crest Owners Association, a California nonprofit mutual benefit corporation.
- c. **LOT:** The residential lot on which the improvement is proposed to be constructed.
- d. **OWNER:** The record owner of any residential lot.
- e. **DRC:** Design Review Committee
- f. **OWNER'S IMPROVEMENTS:** All improvements on an Owner's Lot subject to DRC review.
- g. **BMP's:** Best Management Practices for soil and drainage retention.
- h. **OWNER'S PLANS:** All plans for the improvement of an Owner's lot which are subject to DRC approval.

DAMAGE TO ADJACENT IMPROVEMENTS: Before obtaining DRC approval or a building permit for the construction of an Owner's improvement, Owner shall notify the Association in writing of any then existing damage to the Adjacent Improvements and request a joint inspection. Except for damage noted in the joint inspection, Owner shall be responsible for all damage to the Adjacent Improvements which occurs prior to the date that the Construction Deposit is refunded to Owner, whether or not such damage is the responsibility of Owner and Owner's employees, contractors, subcontractors or suppliers. Owner agrees to make such repairs to the Adjacent Improvements to the full satisfaction of the Association, and any appropriate governmental agencies.

BMP'S: Owner agrees to maintain BMP's during construction and permanent on-site BMP's upon completion of construction so as to prohibit silt, sediment and surface pollutants from leaving the Owner's Lot.

CLEANUP: Owner agrees to clean Adjacent Improvements daily (and prior to 3:00 p.m. on every Friday) of any mud, dirt, or debris caused by or the result of construction activities by Owner, Owner's employees, contractors, subcontractors or suppliers.

OTHER DAMAGE AND CLEANUP: Owner acknowledges that the construction of Owner's improvements may cause damage to improvements in open space areas, common areas and other portions of Donner Crest. In addition, Owner acknowledges that open space areas, common areas and other portions of Donner Crest may require general cleanup of debris resulting from the Construction of Owner's improvements. Owner agrees to repair any such damages and to remove any such debris from the open space, common area or other areas, including nearby residential lots, which is caused by or the result of construction activities conducted by Owner or Owner's employees, contractors, subcontractors or suppliers.

STORAGE OF AND REMOVAL OF TRASH AND DEBRIS: Owner hereby agrees that Owner shall store all trash and debris in appropriate covered containers. Such containers and any stored material shall only be located within the approved Construction Zone and /or Material Storage Area. All trash and debris shall be removed when full and by 3:00 p.m. each Friday or, if sooner, within twenty-four (24) hours after receipt of a demand from the DRC or the Association.

APPLICATION OF CONSTRUCTION DEPOSIT: The Association shall deposit the Construction Deposit into a non-interest bearing account. In the event that Owner does not (a) make and submit agreed corrections to Owners' Plans as conditionally approved or as requested by the DRC within thirty (30) days after delivery of written notice by the DRC; (b) make any repairs of damage as set forth above within ten (10) days after delivery of written notice by the DRC or Association; or (c) remove mud, dirt, trash and debris within twenty four (24) hours after delivery of written notice by the DRC or Association (by 3:00 p.m. on Friday, in which case no notice is required), the Association shall have the right, but not the obligation, to have such corrections, repairs or removals completed and the cost thereof shall promptly be reimbursed to the Association by the Owner. If reimbursement is not made within ten (10) days after the Association's written request, the Association may apply the Construction Deposit towards the reimbursement and the Owner agrees to restore the Construction Deposit to its original amount.

REFUND OF CONSTRUCTION DEPOSIT: The Owners' request for refund of the Construction Deposit shall be made in compliance with Sections 5.14 and 5.15 of the CC&Rs. Upon compliance, the Committee shall authorize a refund in a timely manner.

Owner agrees that the Construction Deposit shall be held, administered and distributed as set forth in these Construction Deposit Procedures, the CC&Rs and the Design Guidelines.

Owner(s):

Signature

Signature

Address

Phone Number

Construction Deposit: Receipt of the sum of \$2,500.00 from _____, Check No. _____ is hereby acknowledged.

Date: _____

Donner Crest Owners' Association/Design Review Committee

By: _____